

# Submission Form

91

Please read the Consultation Document and/or the Draft Long Term Plan **before** providing your feedback.

Please return your completed form to Council by **4:30pm Friday 29 May 2015**:

**Email:** [submissions@bullerdc.govt.nz](mailto:submissions@bullerdc.govt.nz)

**Fax:** [03] 788-8041

**Post:** Buller District Council, PO Box 21, Westport 7866

**Deliver to:** Buller District Council, Brougham Street, Westport 7925

BULLER DISTRICT COUNCIL  
29 MAY 2015  
Per

Tell us  
what you  
like?

## Submitters details

Name: Mr  Mrs  Miss  Ms

Tracy Kovacs

Organisation (if relevant):

Do you wish to be heard in support of your submission? Yes  No

Address: P.O. Box 11045 WAIMANGAROA 7848

Phone: 0274212067

Email:

Key Issue: Tip Head, Warren Park and access

Comments: I believe that the North Beach Warren Park area is Westports best beach-side recreational spot. The access road and barbeque area has been sadly neglected but still remains hugely popular with locals. With a little care and maintenance by council this area would continue to be a major asset to the town. Please recognise the value of this area to locals and visitors and contribute to its future.

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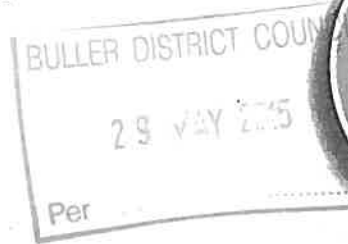
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## Submitters details

Name: Mr/Mrs/Miss/Ms:

Angus Hughes

Organisation (if relevant):

Do you wish to be heard in support of your submission? Yes

No

Address:

2<sup>c</sup> Derby St

Phone:

027771117

Email:

angush2014@gmail.com

**Key Issue:** Tip Head, Warren Park and access

**Comments:** I believe that the North Beach Warren Park area is Westports best beach-side recreational spot. The access road and barbeque area has been sadly neglected but still remains hugely popular with locals. With a little care and maintenance by council this area would continue to be a major asset to the town. Please recognise the value of this area to locals and visitors and contribute to its future.

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## Submitters details

Name: Mr/Mrs/Miss/Ms: Jason Elliott

Organisation (if relevant): \_\_\_\_\_

Do you wish to be heard in support of your submission? Yes  No

Address: 4 Oriwiti Road WESTPORT

Phone: 0211444035

Email: \_\_\_\_\_

Key Issue: Tip Head, Warren Park and access

Comments: I believe that the North Beach Warren Park area is Westports best beach-side recreational spot. The access road and barbeque area has been sadly neglected but still remains hugely popular with locals. With a little care and maintenance by council this area would continue to be a major asset to the town. Please recognise the value of this area to locals and visitors and contribute to its future.

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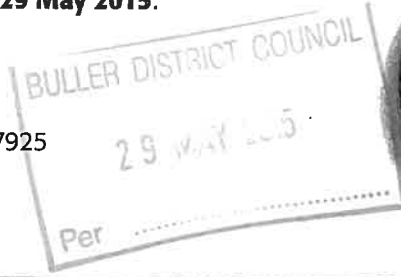
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## Submitters details

Name: ~~Mr/Mrs/Miss/Ms.~~ Kate Walter

Organisation (if relevant): \_\_\_\_\_

Do you wish to be heard in support of your submission? Yes  No

Address: 44 Eastons Road

Phone: 789 7266

Email: \_\_\_\_\_

**Key Issue:** Tip Head, Warren Park and access

**Comments:** I believe that the North Beach Warren Park area is Westports best beach-side recreational spot. The access road and barbeque area has been sadly neglected but still remains hugely popular with locals. With a little care and maintenance by council this area would continue to be a major asset to the town. Please recognise the value of this area to locals and visitors and contribute to its future.

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## Submitters details

Name: Mr/Mrs/Miss/Ms: B. Middelton

Organisation (if relevant): \_\_\_\_\_

Do you wish to be heard in support of your submission? Yes  No

Address: 5 Archer Place Carters Beach

Phone: 022 698 1159

Email: bruce.m94@gmail.com

Key Issue: Tip Head, Warren Park and access

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## Submitters details

Name: Mr/Mrs/Miss/Ms: Shelley Samuels

Organisation (if relevant): \_\_\_\_\_

Do you wish to be heard in support of your submission? Yes  No

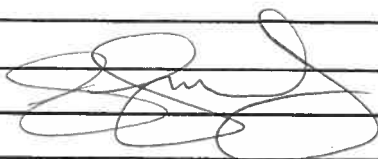
Address: 10 Lakeside Terrace, RD 2, Westport

Phone: 03 789 6754

Email: shelley007@live.com

Key Issue: Tip Head, Warren Park and access

Comments: I believe that the North Beach Warren Park area is Westports best beach-side recreational spot. The access road and barbeque area has been sadly neglected but still remains hugely popular with locals. With a little care and maintenance by council this area would continue to be a major asset to the town. Please recognise the value of this area to locals and visitors and contribute to its future.

 29/5/15

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## Submitters details

Name: Mr/Mrs/Miss/Ms:

Pat BRAOLEY

Organisation (if relevant):

BRAOLEY'S FURNITURE

Do you wish to be heard in support of your submission? Yes

No

Address:

40 The ESPLANADE, WESTPORT

Phone:

03 789 7910

Email:

bradley.mpt@kha.co.nz

**Key Issue:** Tip Head, Warren Park and access

**Comments:** I believe that the North Beach Warren Park area is Westports best beach-side recreational spot. The access road and barbeque area has been sadly neglected but still remains hugely popular with locals. With a little care and maintenance by council this area would continue to be a major asset to the town. Please recognise the value of this area to locals and visitors and contribute to its future.

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Tell us what you like?

## Submitters details

Name:  Mr  Mrs/Miss/Ms:

Paul Fenn

Organisation (if relevant):

Yacht club, Surf Res

Do you wish to be heard in support of your submission? Yes  No

Address:

RD2 43 Buller main rd

Phone:

021 988 228

Email:

Key Issue: Tip Head, Warren Park and access

Comments: I believe that the North Beach Warren Park area is Westport's best beach-side recreational spot. The access road and barbeque area has been sadly neglected but still remains hugely popular with locals. With a little care and maintenance by council this area would continue to be a major asset to the town. Please recognise the value of this area to locals and visitors and contribute to its future.

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Anything else to comment on?



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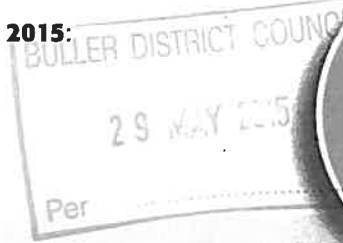
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## Submitters details

Name: ~~Mr~~/Mrs/Miss/Ms:

*Craig Jackson*

Organisation (if relevant):

Do you wish to be heard in support of your submission? Yes

No

Address:

*6 Coates ST*

Phone:

*0210451531*

Email:

Key Issue:

*Tip Head, Warren Park and access*

Comments:

*I believe that the North Beach Warren Park area is Westports best beach-side recreational spot. The access road and barbeque area has been sadly neglected but still remains hugely popular with locals. With a little care and maintenance by council this area would continue to be a major asset to the town. Please recognise the value of this area to locals and visitors and contribute to its future.*

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## Submitters details

Name: Mr/Mrs/Miss/Ms: Carl Adams

Organisation (if relevant): \_\_\_\_\_

Do you wish to be heard in support of your submission? Yes  No

Address: 1 Gladstone St

Phone: 0273480633

Email: \_\_\_\_\_

**Key Issue:** Tip Head, Warren Park and access

**Comments:** I believe that the North Beach Warren Park area is Westports best beach-side recreational spot. The access road and barbeque area has been sadly neglected but still remains hugely popular with locals. With a little care and maintenance by council this area would continue to be a major asset to the town. Please recognise the value of this area to locals and visitors and contribute to its future.

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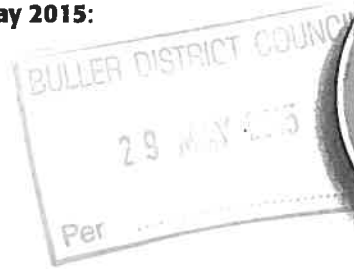
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## Submitters details

Name: Mr/Mrs/Miss/Ms:

Angela Samuels

Organisation (if relevant):

Do you wish to be heard in support of your submission? Yes

No

Address:

95 Russell St, Westport

Phone:

021 191 8249

Email:

angela\_samuels@hotmail.com

Key Issue: Tip Head, Warren Park and access

Comments: I believe that the North Beach Warren Park area is Westports best beach-side recreational spot. The access road and barbeque area has been sadly neglected but still remains hugely popular with locals. With a little care and maintenance by council this area would continue to be a major asset to the town. Please recognise the value of this area to locals and visitors and contribute to its future.

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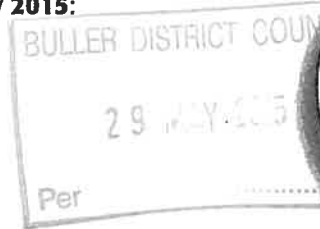
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## Submitters details

Name: Mr/Mrs/Miss/Ms:

Deb Forsyth

Organisation (if relevant):

Teacher

Do you wish to be heard in support of your submission? Yes

No

Address:

29 Eastons Rd

Phone:

789 6737

Email:

f0222@xtra.co.nz

Key Issue:

Tip Head, Warren Park and access

Comments:

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## Submitters details

Name: Mr/Mrs/Miss/Ms: Brent Cargill

Organisation (if relevant): \_\_\_\_\_

Do you wish to be heard in support of your submission? Yes  No

Address: 10 Tasman St

Phone: Carters Beach

Email: Westport

**Key Issue:** Tip Head, Warren Park and access

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29 MAY 2015  
Per



## Submitters details

Name: Mr/Mrs/Miss/Ms: Sophie Gallavin

Organisation (if relevant): \_\_\_\_\_

Do you wish to be heard in support of your submission? Yes  No

Address: 140 A Brougham St

Phone: 027 500 6165

Email: \_\_\_\_\_

**Key Issue:** Tip Head, Warren Park and access

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**Submitters details**

Name: Kathleen Ann Beveridge

Organisation (if relevant): MJ & KA Beveridge on behalf of Little Wanganui Developments Ltd

Do you wish to be heard in support of your submission? Yes  No

Address: 31 Bridge Street, RD 3, Karamea 7893

Phone: 03 7826 955

Email: [kaybeveridge@gmail.com](mailto:kaybeveridge@gmail.com)

**SAVE the form BEFORE emailing to Council, otherwise your changes will be lost and you won't have a copy.**

**Key Issue (max 370 characters):**

Uniform Charge and Solid Waste Charge being added onto the adjoining empty sections where there is more than one section for sale.

**Comments (max 2,700 characters):**

In a climate where development is crucial to Buller, I find that the extra charges being added onto adjoining sections will deter further development. The Uniform Charge, which is a Target Rate and to quote Council "Deemed to be in receipt of a particular benefit" does not apply to these sections whether rural or urban. What benefits do these parcels of land receive?

Under the Council's example for Karamea, with General Rates being \$121.43 etc, totals up to \$712.65. The sections that we own are valued at \$55,000 and the General Rates are \$161.20, with a total of \$733.00. I don't think there are many properties in Karamea that are valued less than \$55,000.00 so not sure where this example applies. Our rates have certainly not gone down as the example shows.

I was told that rural developments were to be bought into line with urban ones. I feel that it is a lot harder to sell rural sections, but I do not think that urban ones should be penalised with the additional charges. We do want Buller to prosper and encourage businesses, workers and families to move here. Thus, we need people prepared to invest in property development and this should be encouraged not hindered.

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Name: Roger & Lynne Elvins  
 Organisation: Chelsea Gateway Motor Lodge  
 Wish to be heard: Yes  
 Address: 330 Palmerston Street, Westport  
 Phone: 789-6835  
 E-mail: stay@chelseagateway.co.nz

**Key Issue:**

Rating System Review

**Comments:**

We are aware that work is continuing on the Rates Overhaul Project with a view to implementation on 1 July 2016 and that there will be further consultation before adoption.

We would like to urge Council to continue as a matter of urgency before the next consultation to consider the issues of residentially rated properties which are being used for commercial purposes and properties which have mixed use.

We understand that Council is working on the Rating Information Database to identify such properties and urge that this matter is given a high priority before the next round of consultation so that when the final proposal is announced we can be confident that the RID is as accurate as it can realistically be. We know that much of this information has already been, and will continue to be, provided to Council by various parties.

You will be aware no doubt that Westland District Council is undertaking a review of its rating system also with a view to providing a simpler and fairer system than that in existence. They also have identified that their RID is not where it needs to be before implementation of any new proposal and that anomalies exist. The proposal in their LTP is not a done deal of course and has raised heated feedback so may well change. However, we would like to draw the attention of Buller District Councillors to the Differential Categories (Residential, Rural Residential, Commercial & Rural) and the Differential Descriptions in Westland District Council Draft Rating Policy (p3) which we believe could provide a useful basis for this Council also.

The Differential Description for the Commercial category is:-

a) Any land used for a commercial purpose and any land in an industrial/commercial or tourist zone unless it is identified used for a residential, services or rural purpose.

b) A commercial purpose is land that is used for the purposes of the sale of food, services and other commodities (excluding those identified as rural) and merchandise or the provision of services or professional advice.

- For example this includes taverns, restaurants, utility networks, electricity generation activities, agricultural contractors, mineral processing (not extraction), timber milling (not felling), intensive farming or horticulture, manufacturing, tourism activities and accommodation.

- Council will identify commercial purposes where advertising of the commercial activity is undertaken. Advertising includes: signage on or near the property, on vehicles, in print, radio, TV or other media, on



**websites or other electronic media or by direct mail. Commercial does not include any part of rural zoned land that meets the definition of rural purpose.**

- Commercial purposes does not include small hobbies, sale of personal items or the occasional provision of services from a home where only one person is involved in the activity and no other persons are employed or contracted and turnover is assessed as minimal and incidental to the household income.

**c) Any residential or rural zoned land used for commercial purposes. Where a rating unit has more than one use, a division of the rating unit will be undertaken.**

The areas highlighted are particularly relevant and can be applied to all types of businesses. The Westland proposal is to apply the Commercial differential of 1.88 to all properties which meet these criteria and allocate resources as necessary to bring the RID up to date. We believe it is the ethical responsibility of the Buller District Council to do likewise and some consistency between two similar areas also seems appropriate.

Of particular ongoing concern to the motel industry is the proliferation of holiday houses and Bed & Breakfast/Homestay operations. They are easy to identify and readily found on numerous internet sites such as [www.holidayhomes.co.nz](http://www.holidayhomes.co.nz), [www.holidayhouses.co.nz](http://www.holidayhouses.co.nz), [www.bookabach.co.nz](http://www.bookabach.co.nz), [www.airbnb.co.nz](http://www.airbnb.co.nz) and others.

Some have been identified in the past by the BDC as home based businesses for the purpose of applying the Promotion and Tourism Rate, but by no means all. As a motel we pay commercial rates, commercial insurance, water rates, waste collection costs, GST, and have to meet a range of compliance matters. These businesses are not required to adhere to the same regulations (in particular the Building and Health & Safety Acts), do not currently pay commercial rates, possibly do not carry commercial insurance cover, in many cases will not be GST registered and we would suggest that there are probably also some who do not declare revenue from such operations. The potential exists for a tragedy to occur and liability to fall upon an owner or possibly even expose the Council, and therefore ratepayers, to that risk if it can be proved that Council was aware that a property was non-compliant. Yet they are able to operate on an equal footing with businesses such as ours via exposure on the internet and compete in the same market for guests who would have once stayed in motels. It is very difficult for us to compete on prices in this environment. We face a daily battle in the current economic climate to maintain the viability of our business in which we have invested heavily. It is stated in the Rates Overhaul document that 'a good rating system should be equitable to all'. For this to be the case, commercial operations must be identified as such and rated accordingly.

We note also that Westland District Council has proposed to undertake division of a rating unit where residential or rural zoned land used for a commercial purpose has more than one use. We have previously submitted to Buller District Council that motel properties where the owner's residence comprises part of the rating unit should be split in to commercial and residential components for rating purposes. We see no reason why, if a mixed use principal can be applied to residential or rural zoned properties with mixed use, it should not apply equally to commercial zoned properties which have mixed use ie a residence. It should also be noted that this has been done by other Territorial Authorities in relation to motels. WDC proposes to calculate the apportionment either by agreement on the ratio

between the Council and the landowner in the first instance or by a formal valuation if agreement cannot be reached. Once again, we ask that, while the Rating Information Database is being updated, that this matter is considered. There will be no better opportunity to get it right than now.

In closing, we would like to acknowledge the decision by Council to reject the Capital Value based Promotion & Development (Tourism) Rate. This rate was inherently unfair to our industry. Motel operators make a significant and valuable contribution to the community and visitors to it and should not be penalised by bearing a disproportionate rates burden. It is gratifying that this was finally recognised in relation to this particular targeted rate albeit frustrating that the cost to our business in the meantime has been a substantial amount for a small business to absorb. Any relief which can be gained by a fairer distribution of rates going forward will be gratefully received.

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29/05/2015 12:35

64-09-7311896

PUNAKAIKI VIS CENT

PAGE 01

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Submitters details

Name: Mr/Mrs/Ms/Ms: Margaret Costello

Organization (if relevant):

Do you wish to be heard in support of your submission? Yes [ ] No [x]

Address: 5 Hartmount Place, Punakaiki / CMB80 RD 1 PUNAKAIKI 7873  
Phone: 03 7311496  
Email: costello@enap.net.nz

Key Issue: Punakaiki - facilities, rates

Comments: Pg 113 Draft Long Term Plan

I am very pleased to see that provision is to be made towards a community facility at Punakaiki. This would be a great asset for our community and is sorely needed.

I have been a ratepayer at Punakaiki for over 30 years, but a fulltime resident for only the last three. I previously resided in Harihari, a small settlement in South Westland 50 min south of Hokitika (Punakaiki is 50 min south of Westport). In Harihari, where the rates were a fraction of those at Punakaiki, we had access to the following community facilities: hall, library, swimming pool, meeting room, cemetery, rugby field, public toilets, and until Cyclone Ita a squash court. Admittedly over the years many of these had reverted from full council involvement to being shared with other organisations eg the school. In Punakaiki we have a reserve/camping ground. Punakaiki does not have the space or surrounding farming area of Harihari but it is a major visitor destination, a gateway to Buller from the south and one of your recognised four main centres.

I believe the Buller Council should also be contributing towards well sign-posted Public Toilets in our area. DOC has toilets at their Information Centre but more is needed in the summer when groups such as families are spending time enjoying the Punakaiki River or the Porarari River/Punakaiki Beach areas.

And good luck with your rating review. I appreciate that you are attempting to make things fairer in this area. A difficult task of course especially with the change to a post-coal era.

Tb  
Sut  
4:3

Submission to Buller District Council – Long Term Plan

To Submissions@bdc.govt.nz

From: Paul Reynolds (paul.reynolds@connect.net.nz)

To be heard; Yes

Submission 1 Trunk Watermain Replacement.

I agree with cancelling the plan to replace the Westport trunk water main until it can be shown that the annual costs for a new line are less than those to maintain the old. Council were due to replace the trunk main in the late 1970's because the uninformed opinion was that it was worn out. A section of pipe was sent for analysis and the result showed the pipe was little altered from when it was first commissioned. Council should have this report on file.

In this regard please note:

The pipe is now protected from internal corrosion by chlorination.

The pipe is now operating at less pressure than when first commissioned.

Please also note:

The existing trunk main is a dual pipeline giving continuity of supply (at a reduced flow) when one is out for repair.

The existing line is of a mixed age due to previous repairs and replacements and accordingly the annual maintenance costs will plateau at a point that reflects its average age.

Repair costs result in local employment and hence local ratepayers. (The money spent on repairs largely stays in town)

Ratepayer funds to purchase a new line will leave town with the contractor, as will the annual payments for the necessary loan.

When a new pipeline is out of commission for repairs the town will be totally without water.

It is a bad time for council to increase the debt burden on ratepayers unless it can be shown that there is an economic benefit in doing so. I think you will find the trunk main is largely in the same condition as it was when professionally assessed in the late 1970s.

Submission 2 Austerity

Council deserves credit by endeavouring to have a minimal rate rise. I do not believe this goes far enough and rate decreases need to be targeted. Council is aware that our population is to decline by 10 percent following closure of Holcims cement plant therefore Council needs to further prune its budget and plan to reduce its income/spending by a like percentage. Due to job losses at Solid Energy and Holcim alone the economic future looks particularly bleak. Council needs to accept this and retrench now.

Options to consider are:

Stop giving money to Coaltown.

Council has invested in the following but they are technically insolvent and can only continue with money extracted through rates from a ratepayer base that largely do not use them and object to funding them.

Sell NBS theatre by tender. It will still be there, the new owner will staff it efficiently and council eliminate ongoing expenditure.

Sell the Solid Energy Centre by tender. Again it will still exist but new owners (sportsclubs?) will perhaps staff it with volunteers. Council will make a loss on the capital for building it but the ratepayer will be free from ongoing staffing costs.

Sell the artificial hockey ground or give it away to the hockey club. Again the council will suffer an economic loss on the capital to build it but will be free from ongoing administration and maintenance costs.

Sell the gymnasium. It should never have been purchased.

Scrap dog licensing. As there is no hydatids testing anymore there seems as much need to register a dog as there is to register a horse, a cow or a even cat! Tender out the dog control services with all costs recoverable from errant owners. This will free up staff administrative time as well as animal control time. Perhaps if there really was a problem with dogs (and I am unaware of any) there could be a one off registration and chip identity so the owner could be identified if recovery of costs needs to be pursued.

#### Submission 3 Significance and Engagement Policy

Councils website should allow the public to add their email address to automatically receive councils communications on issues it considers 'significant.'

The "Special Consultative Procedure" as referred to in the Local Government Act is not "ratepayer friendly." Although it sounds special by name it gives councils carte blanche authority to notify the public as they see fit. In the past when bylaws have been enacted a ratepayer's first awareness of them has in some case been an account in the mail. This is not good enough. If you are going to bring in a service where you intend to individually charge some ratepayers then you need to acknowledge that they need to be individually consulted prior to making the policy/bylaw.

#### Submission 4 Freedom Camping

Freedom camping should be encouraged. A multitude of extra small, low cost access ways to riverside and beach should be created district wide. Present access to our beach is limited to a few major places. Happy tourists are the cheapest form of advertising; they may come again and others they tell of their positive experiences will come too. Visitors spend money and the regions businesses need the trade.

Thinking back of the people that came and stayed in my parent's batch at Charleston there are five cases where those holidaymakers subsequently purchased properties and became BDC ratepayers.

Yours etc

Paul Reynolds

21 Snodgrass Road RD2

Westport 7892

**Submission to the BDC LTP 2015 - 2025**

**Richard Arlidge -**

**1 Hartmount Place – Punakaiki**

**CMB 3, RD1 Runanga, 7873**

**Email: [whitecube1@gmail.com](mailto:whitecube1@gmail.com)**

**Phone: 03 7311 877 or 0274 510 888**

**Yes I would like to be heard.**

### **BDC Long Term Plan – Submission**

#### **1. Punakaiki Community Facility**

Re the \$100,000 for a community facility at Punakaiki as outlined on page 113.

Yes I agree with the BDC contributing \$100,000 towards a community facility.

With 330 plus beds available for visitors in Punakaiki there is a market for events such as weddings and other family events to be held here that will add value to the tourism industry. Such a facility could have a full catering kitchen so that a range of events and functions could more easily take place.

#### **2. Tourism & Economic Development**

The Consultation Document “Positioning for Progress” page 5 (LTP P48) reads:

***We have made the following ASSUMPTIONS ....***

*....Tourism remains as the most likely industry to achieve growth. The district abounds in natural attractions historical features, ecological wonders, and walking, climbing and mountain biking opportunities. Historically these features have not been recognised by the tourist industry at large with the district seen as a dead end location that could only be improved with a new road from Karamea to Collingwood. While a through road is not a present possibility, there is now an increasing recognition that the district does have its own future as a destination in its own right....*

This statement reveals a lack of insight and understanding of the geography and economy of the Buller District. The Pancake Rocks and Blowholes at Punakaiki have

been recognised by the tourism industry at large for many decades and featured in many national and international promotions of NZ over this time. The district is not seen as a dead end and there are 2 state highways that currently run through the district. SH6 runs from Punakaiki in the south through Inangahua Junction and on to Murchison in the north and SH7 runs from Ikamatua in the south to Reefton and on to Springs Junction via the Rahu Saddle.

The "Positioning for Progress" and LTP seems to have been written from a Westport-centric world view that believes that tourism growth will come about with a road through the Heaphy Track (I note others want a route from Little Wanganui to Taparewa). Both/either would also provide an opportunity for the residents of Karamea to shop in Nelson, Motueka or Takaka and possibly lead to a decline of the visitor industry in Inangahua Junction!

I suggest that the ASSUMPTIONS of the LTP need to be rethought/discussed and rewritten. In the future the BDC needs to engage a person that does not live on the north side of the Buller River to proof the documents and question the underlying assumptions.

A road from Punakaiki to Reefton over the Paparoa ranges would also be a boost to tourism in the Buller District and would bring the outlying parts of the District together.

The Punakaiki experience of tourism is that we encourage people to stay and play - engage with the Paparoa National Park and activities on offer. Those that simply drive through add little value. Punakaiki Promotions Group is promoting the Pororari to Punakaiki walk as the most beautiful half day walk in NZ.

### **3. Possible amalgamation**

The LTP does not mention the possibility of a single unitary council for the West Coast in the future and how this may impact on future planning and assumptions.

### **4. Climate Change**

The paragraph dedicated to Climate Change in the Consultation Document identifies this could be an issue affecting the Buller. The BDC needs to decide if Climate Change is theory, theology or science?

What is driving climate change? The level of CO<sub>2</sub> in the atmosphere caused by humans burning fossil fuels. If the level of CO<sub>2</sub> in the atmosphere continues its steady climb (It is regularly reaching levels above 400ppm in 2015) the rate of change will increase. I would urge councillors to watch the film '**Thin Ice**' and discuss.

## **5. Clean Disruption**

“Clean Disruption of Energy and Transportation” by Tony Seba was published in 2014 which predicts that conventional cars, as we know them, will be obsolete by 2030, as well as the demise of the current oil, nuclear, natural gas, coal and electric utility industries.

I would suggest that all Councillors and staff should read this book.

See <http://tonyseba.com/> for more about him and the book.

Seba tweeted on 17 Feb that Japan now has more EV chargers than petrol stations.

- What does the ‘Clean Disruption of Energy and Transportation’ mean for NZ?
- Is NZ/Buller prepared for the coming disruptions and planning an ev fast charging station in Westport to encourage visitors? See:

<http://www.teslamotors.com/supercharger>

<http://www.apev.org.nz/>

<http://www.juicepoint.co.nz/>

## **6. Proposed Library relocation**

I support the creation of a Westport Town Heart” community hub.

I would suggest a community exhibition venue be included in planning for this new Library/community facility. An exhibition venue could be funded from Lottery Community Facilities. One model is the new library complex in Levin Te Takere Te Takere has been designed to be a "third place":

- A community lounge;
- A meeting point;
- A learning environment;
- A place to play;
- A place to do business;
- An entertaining and informative venue; and
- A place to try out new things.

The complex should include the best quality public toilets.

## **7. Orowaiti Cemetery**

Look into putting information maps on the side of the building or in a shelter at the Orowaiti Cemetery so that people can find the graves of family after hours and on weekends. People have access to the BDC data base through their phones.



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Please read the Consultation Document and/or the Draft Long Term Plan before providing your feedback. Please return your completed form to Council by 4:30pm Friday 29 May 2015.

Email: [submissions@bullerdc.govt.nz](mailto:submissions@bullerdc.govt.nz)

Fax: [03] 788-8041

Post: Buller District Council, PO Box 21, Westport 7865

Deliver to: Buller District Council, Brougham Street, Westport 7925



Submitter's details

Name: Mr/Peter Currie  
Club/Organisation (if relevant): Karamea Swimming Club  
Do you wish to be funded in support of your submission? Yes  No   
Address: 24 Curries Road Karamea  
Phone: 2736 848  
Email: P.F.Currie@vodafone.co.nz

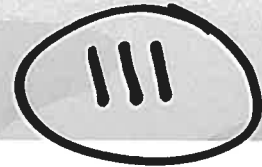
Key Issue: Ongoing funding for Karamea Swimming Club

Comments: The club would like to thank you for the past support. We look forward to your ongoing support. We are seeking \$5000.00 as paid in the past. This money is used to pay the power account we get limited money from other sources to run the pool, plus gate takings. Without your support we would be unable to run the pool.  
on behalf of Karamea Swimming Club  
Thank you  
Peter Currie  
P F Currie



Thank you for your feedback  
Submissions must be received by  
4:30pm Friday 29 May 2015

# Submission Form



Please read the Consultation Document and/or the Draft Long Term Plan **before** providing your feedback.

Please return your completed form to Council by **4:30pm Friday 29 May 2015**:

**Email:** [submissions@bullerdc.govt.nz](mailto:submissions@bullerdc.govt.nz)

**Fax:** [03] 788-8041

**Post:** Buller District Council, PO Box 21, Westport 7866

**Deliver to:** Buller District Council, Brougham Street, Westport 7925



## Submitters details

Name: Alison Johnson

Organisation (if relevant): Energy Efficiency Conservation Authority

Do you wish to be heard in support of your submission? Yes  No

Address: PO Box 388

Phone: 04 4702 206

Email: alison.johnson@eeca.govt.nz

**SAVE the form BEFORE emailing to Council, otherwise your changes will be lost and you won't have a copy.**

### Key Issue (max 370 characters):

Please see our attached submission

### Comments (max 2,700 characters):

Please see our attached submission

**SAVE the form BEFORE emailing to Council, otherwise your changes will be lost and you won't have a copy.**

## Thank you for your feedback

Submissions must be received by  
4:30pm Friday 29 May 2015





Energy Efficiency and  
Conservation Authority  
Te Tari Tiaki Pūngao



## **Submission on the proposed Buller District Council Draft Long Term Plan 2015-25**

**To:** Buller District Council  
**Submitter:** The Energy Efficiency and Conservation Authority (EECA)  
**Postal Address:** 44 The Terrace, (PO Box 388), Wellington  
**Attention:** Alison Johnson  
**Phone number:** 04-470-2206  
**Email:** Alison.Johnson@eeca.govt.nz

### **Submission**

1. This submission relates to:  
The Buller District Council's Draft Long Term Plan 2015-2025
2. The Energy Efficiency and Conservation Authority (EECA) does not wish to be heard in support of its submission.
3. EECA proposes that the Buller District Council support greater energy efficiency and renewable energy initiatives in Council operations and in the wider community. Specifically, EECA proposes that Council focus on:
  - reducing Council and community energy use;
  - increasing the share of renewable energy used; and
  - improving energy efficiency performance.
4. EECA urges Council to participate in the Voluntary Targeted Rate (VTR) mechanism for insulation, and provide a budget for the provision of an Eco Design Advisor.
5. EECA's reasons for making this submission are as follows:
6. Eco Design Advisors undertake free or low cost in-home consultations with homeowners, provide free phone advice on new home or renovation plans, and increase the understanding of sustainable building in the local area.
7. Council participation in the Voluntary Targeted Rate (VTR) scheme will support the community to install energy efficiency measures in the home, by providing ratepayers with another method of funding their insulation requirements. From a Council point of view there is no cost to Council as the VTR debt is secured against the ratepayer's home and so provides first call for repayment.
8. The uptake of insulation provides significant benefits to your community in terms of warmer, drier homes, job creation, improved health outcomes, enhanced air quality, and the ability for the elderly to "age in place". The VTR mechanism is important as cash is not always available for some ratepayers to meet the upfront

EECA submission to the Buller District Council Draft Long Term Plan 2015-25

costs of insulating their homes. Given that some ratepayers either do not have a mortgage (such as the elderly who are often asset-rich and cash poor), or do not want to take out a personal loan.

9. Ten councils currently use a VTR mechanism successfully. These councils are:
  - Auckland City Council
  - Dunedin City Council
  - Greater Wellington Regional Council
  - Hawkes Bay Regional Council
  - Nelson City Council
  - New Plymouth City Council
  - Marlborough District Council
  - South Taranaki District Council
  - South Waikato District Council
  - Tasman District Council
  - In addition, several other councils are considering joining the scheme.
10. A quick glance at this list shows that the Buller area is not currently covered by these schemes, which encompass about 60% of New Zealand's population.
11. **EECA's role:** The Energy Efficiency and Conservation Authority (EECA) promotes energy efficiency, energy conservation and the use of energy from renewable sources.
12. When it comes to low income and high-health-needs households, the Government is focused on meeting the needs of this group through its \$100 million Warm Up New Zealand: Healthy Homes programme. Administered by EECA, this scheme is targeted at low income homeowners or tenants who have a Community Service Cards, whereby the Government works with community trusts and commercial service providers to provide insulation 100% free. For this sector the Government provides 60% of the cost of insulating a house built prior to the year 2000, with energy trusts and community groups working in partnership with service providers to provide the remaining 40%.
13. The Healthy Homes programme builds on the work of the previous programme Warm Up New Zealand: Heat Smart. As a result of both programmes to date, 278,238 low income and high-health-needs households across New Zealand now have insulation. Since the programmes began, in the Buller region there are 426 households with insulation that have benefited.
14. **In conclusion:** The Buller District Council is a role model for the wider community and could encourage further Corporate energy efficiency initiatives. EECA asks Council to assist the community to install energy efficiency measures by providing a Voluntary Targeted Rate mechanism. This would provide your ratepayers with another method of funding their insulation requirements and can offer a multiplicity of benefits to your community, including warmer, healthier homes, enhanced resource management as well as local jobs. For its part EECA is willing to provide working examples of the VTR mechanism, including draft contracts and ratepayer agreements, as well as facilitating auditing of installed insulation for quality assurance and offers operational support.

EECA submission to the Buller District Council Draft Long Term Plan 2015-25

15. EECA urges the Council to budget for an Eco Design Advisor to increase the understanding of sustainable building in the local Council area.
16. In addition, improving the management of Council's energy resources will contribute towards supporting the growth and development of the community.
17. Details of the Voluntary Targeted Rate mechanism are provided in Attachment A, further examples of energy management opportunities are provided in Attachment B and more information on the Eco Design Advisor role is provided in Attachment C for your consideration.

**Signed:**



Robert Linterman  
General Manager  
Residential Programme  
EECA



Bill Hewitt  
Local Government Advisor  
Residential Programme  
EECA

## Attachment A: Voluntary Targeted Rates for insulation

### How installing insulation can benefit your community

Insulating homes can provide multiple benefits to your community. These benefits include:

- **Job creation/economic growth:** This is because insulation is a labour-intensive process, and companies tend to employ and up skill local labour to meet demand.
- **Warmer, drier, healthier homes:**
  - Cold, damp homes mean more problems like asthma in children and adults, and so resolving the causes of this problem through insulation and improved heating creates positive health outcomes.
  - Warmer, drier homes can result in fewer hospital admissions<sup>1</sup>.
  - Warmer drier homes can also improve productivity through reduced days off work, and reduced days off school.
- **Insulation helps to reduce energy bills**  
A well-insulated house requires less heating. This can reduce energy costs for householders.
- **Increased potential for older people to “age in place”**  
A well-insulated and heated house can allow for older people to live in their homes for longer, and with better health. This reduces hospital and rest homes costs, and also builds more resilient communities.
- **Improved health for homeowners:**  
An independent survey (Motu Report 2011) has demonstrated that the insulation programme shows a cost-benefit ratio of 5:1 – with the majority of the benefits coming from improvements in health and wellbeing.

### How the Voluntary Targeted Rate scheme works in other councils

Throughout New Zealand, a number of other councils have set up a VTR mechanism, whereby ratepayers can choose to pay off the additional costs of their retrofit on their rates over a nine or ten year period.

The VTR mechanism utilised by these councils is designed to be cost-neutral to council as the insulation (and in some cases water, solar energy and clean heating) is only provided to individual ratepayers who request it and who are willing to pay it back over a nine to ten year period. The VTR interest rate margin accommodates any administration costs to council. The scheme has no impact on the general ratepayer as they are not part of the targeted rate unless they voluntarily choose to do so.

Councils set a maximum amount of funding available each year, and also set a cap on the amount each individual household can obtain as a Voluntary Targeted Rate—with some councils setting a maximum for insulation, and a separate cap for heating

This type of scheme is seen as a low risk to councils as rates are a statutory first charge against the property. Indeed the VTR mechanism can be seen as similar to a

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<sup>1</sup> These health-related benefits have been verified by the Wellington School of Medicine.

small (2-3 house) sewerage reticulation scheme, except this scheme is voluntary, and targeted only at a single property. The VTR program is primarily targeted at the “general income” groups in the community who do not qualify for low income support.

To illustrate how the scheme works, take Greater Wellington Regional Council (GWRC) as an example:

- commencement of a VTR approach in mid-2010, recently received an extension for another 3 years;
- set a cap of \$3,900 funding per property, which is considered sufficient to cover the cost of insulating an average house (note that other councils, particularly those which also offer clean heating, have individual caps of \$5000 including GST).
- The scheme has been popular with ratepayers who can pay back the funding over a nine or ten year period via the targeted rate.
- The scheme is designed to be cost-neutral to Council, and to result in no cost to the general ratepayer. Council recovers the cost of capital, plus an administration fee.
- The rate is targeted to an individual ratepayer who elects to ask for the targeted rate.

GWRC charges an interest rate on the funding of 7% for the 2013/14 year – and this interest rate is reviewed annually. This means that the funding method is not necessarily cheaper than borrowing from a bank, however, it is proving popular as a simple method of repayment that stays with the property. Upon sale of the property, the homeowner is required to inform the incoming owner of the VTR (who may choose to require that it is repaid in full), and it is also registered against the LIM.

The VTR mechanism has been designed to minimise workload for the Council. Thus the majority of work rests with the Service Providers (who undertake the installations and distribute the Council’s VTR agreements to homeowners). In GWRC’s case, the administration involves checking to see if the person is a ratepayer in the region and that their rates are up to date, and then approving payment to the Service Provider (Dunedin City Council also require all VTR applicants to agree to pay all rates via direct debit). GWRC originally managed this workload within their existing staff – and since their scheme has grown to \$6 million a year they now fund this position via the interest rate margin as a way of recouping administration expenses.

Councils are deemed to be part of the Consumer Credit and Consumer Finance Act, and are required to join a dispute resolution service at a minimal fee (which EECA is willing to fund in the initial year).

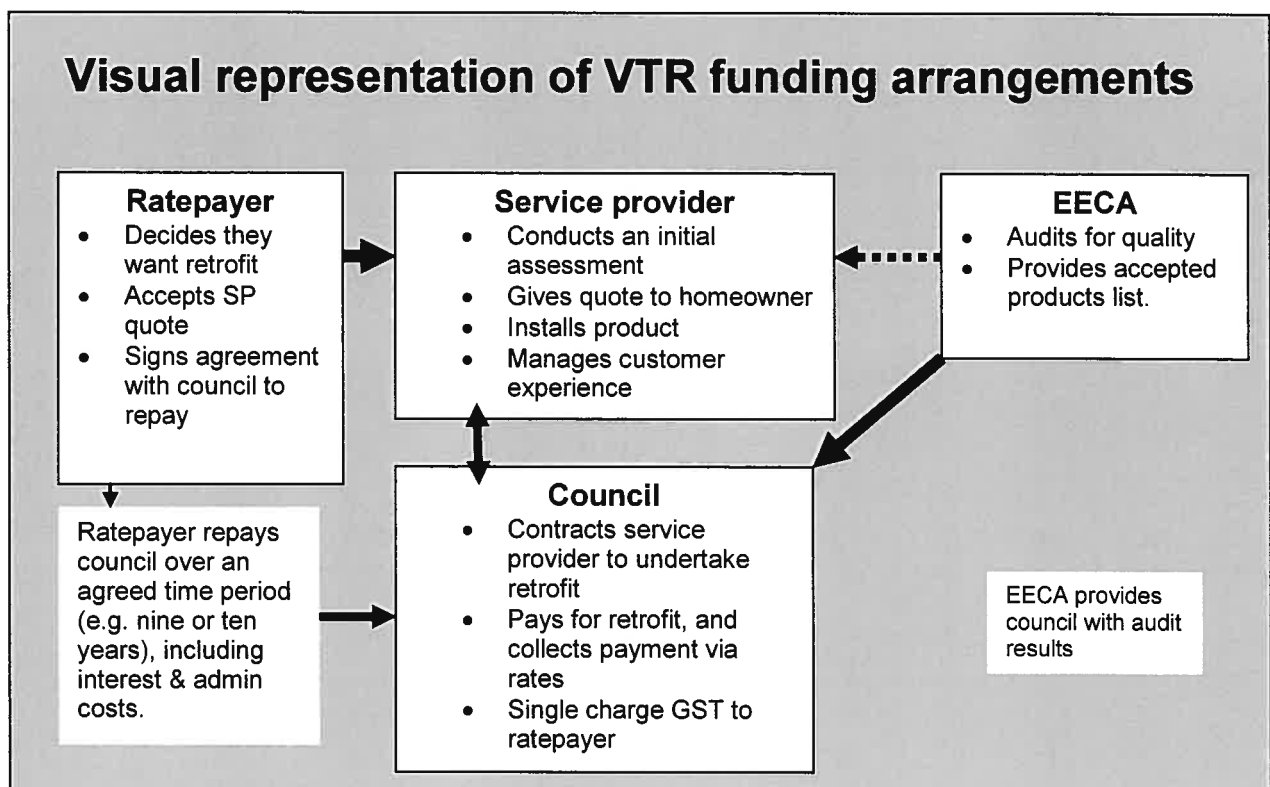
### **Explanation of how the scheme works in practice**

Under the GWRC model, the system for a ratepayer getting their home insulated is as follows:

1. The homeowner contacts one (or preferably several to get a range of quotes) of Service Providers within the district. Alternatively, Service Providers are active in advertising direct to homeowners.

- a. Note: The VTR schemes only apply to houses which are pre-2000, as after this date the building regulations changed to require a higher standard of insulation.
2. The Service Provider visits the house, and makes an assessment of the cost and suitability of the insulation (if council wishes to fund clean heat options, these can also be assessed by the Service Provider). They provide the homeowner with a written quote.
3. The Service Provider also discusses options for payment with the homeowner. If their area provides it, then one of the options would include the VTR – and the Service Provider has copies of the council application form for the homeowner.
4. Once the homeowner has chosen a quote, they send the application form and a copy of the quote back to the Council. This is likely to be the first time that council staff are involved.
5. The council checks that the ratepayer lives in the district, that they are not in rate arrears, and then informs the ratepayer if they qualify. Once this occurs, the council indicates to the Service Provider that the work can begin.
6. The Service Provider undertakes the job.
7. Once the work is completed, the Service Provider invoices Council for the cost of the retrofit. Council pays the invoice from the Service Provider. The ratepayer pays off this funding on their rates over a nine or ten year period.
8. EECA operates an audit regime of 5% of jobs to ensure Service Providers offer quality products and service.
9. Note that the council acts as the contractor of the service provider to install insulation into the ratepayer's home. This is to ensure that the job is only charged as single GST (as otherwise, due to payment coming on the rates, the job would be charged twice for GST – once on the job itself, and again with the GST on rates. By the council acting as the contractor, it is deemed to be the principal in the supply chain, and therefore can deduct the GST).

The following is a diagram that sets out how the funding works for the scheme.





## **Templates available**

EECA has worked with a number of councils who have set up VTR mechanisms. During this process, a comprehensive template has been built up, which is available to councils wishing to introduce VTR.

EECA can provide your council with copies of the contracts which EECA has developed with councils. EECA can also supply copies of the ratepayer agreements which other councils have developed. Some of the councils have undertaken independent legal advice, which they may be willing to discuss with you. EECA can also supply wording for the Annual or Long-Term Plan, which other councils have used for things like the Funding Impact Statement, and the Revenue and Financing Policy. EECA can also provide copies of marketing materials, which explain the scheme in simple terms. To summarise, there is an existing suite of templates which can be rolled out, if your council wishes to take up the scheme.

**Auditing by EECA:** In order to support the VTR scheme EECA will provide auditing of the installed insulation. In addition, EECA will provide a list of accepted products which council can require Service Providers to use.

With auditing, EECA currently uses Opus, a nationwide quality assurance service by auditing 5% of the retrofit jobs, and EECA will be developing a user-pays system for Service Providers so there is no cost to council.

In regard to the list of accepted products, EECA will maintain a list (along with the Ministry for the Environment) which also includes clean heating products which councils can rely on as fit for purpose.

## **Attachment B: Further energy management opportunities**

EECA encourages councils to consider the full range of energy management opportunities available in the area, as the availability of renewable energy, energy efficiency and energy conservation projects is specific to each region.

Energy conservation seeks to avoid wasting energy. Energy efficiency is about using less energy to achieve the same result, or greater results from the same amount of energy. Both result in energy savings. Water and energy use can be related, as reducing water use reduces pumping use. In the case of hot water systems and washing machines a reduction in hot water use can reduce heating energy use.

### **EECA measures available to support local action:**

- EECA's consumer programme, ENERGYWISE™, provides information for motivating change in the community, so residents can make the most of energy efficiency, energy conservation and renewable energy opportunities.
- EECA's transport programme provides information and guidance through:
  - information for motorists on how to drive more fuel efficiently;
  - vehicle fuel economy labels - EECA administers the vehicle fuel economy label, which helps people make an informed decision about the vehicles they are considering buying;
  - fuel efficient tyres - helping consumers identify tyres that meet standards for both fuel efficiency and braking in the wet;
  - heavy vehicles - EECA works to improve the fuel efficiency of the heavy vehicle fleet;
  - renewable transport energy - EECA has developed a range of information about biofuels for industry and consumers, including sustainability information. Electric vehicles present an opportunity to make use of New Zealand's highly renewable electricity for transport. EECA provides advice on electric vehicles to consumers through the ENERGYWISE website.
- EECA's business programme BUSINESS™, provides information and guidance to councils to reduce energy costs through:
  - managing premises.
  - buying and operating equipment.
  - encouraging staff to be energy efficient.
  - managing vehicle use.
  - renewable energy use, such as solar energy for swimming pool heating.
- Funding has been designed specifically for government organisations, for example, Crown loans are available for implementing energy projects such as energy efficient space heating and lighting.
- Case studies and regional energy strategies assist with the identification and use of renewable energy resources. This includes information on the factors that determine how much of these renewable resources are captured, such as:
  - technical potential - how much of the resource can be viably utilised given current technologies; and
  - economic potential - how much of the technical potential is viable at sufficiently low cost.

## **Attachment C: Eco Design Advisor role in Council**

Eco Design Advisors undertake free or low cost in-home consultations with homeowners, provide free phone advice on new home or renovation plans, and increase the understanding of sustainable building in the local council area. Seven councils already provide this service: Auckland City Council, Hamilton City Council, Palmerston North City Council, Kapiti Coast District Council, Hutt City/Upper Hutt City Council, Nelson City Council, and Invercargill City Council. The Eco Design Advisor service has:

- demonstrated success – the 2013 national customer survey indicates high satisfaction and high rates of improvements as a result of the advice;
- positive feedback indicating this is appreciated by participants as a constructive service provided by councils; and
- contributed to upgrading the condition of the areas housing stock, reducing household running costs (energy/water) and improving residents' health.

There are numerous benefits to engaging an Eco Design Advisor for the Council. These include:

- raising the condition of the housing stock in the region to World Health Organisation standards and improving the energy and water efficiency of all houses, delivering an improved quality of life to current and future residents.
- meeting council objectives relating to sustainability and environmental education, water demand management and resource use, and community well-being.
- supporting the Council's environmental education initiatives.
- promoting sustainable building in design and construction, as required under the Building Act 2004 (sections 3, 4 and 172).
- being a key mechanism for championing sustainable design within the Council and feeding back into the development of Council policy.
- generating positive feedback by offering free, impartial advice and assistance to residents, designers and the building trade – the Eco Design Advisor service is one of the few “carrots” Council can offer in the building compliance area.
- showing the Council is proactive and leading in sustainability issues.

*For more information, please contact EECA's Local Government Adviser, Residential Programme, Alison Johnson on [Alison.Johnson@eeca.govt.nz](mailto:Alison.Johnson@eeca.govt.nz) or 04-470-2206 or Relationship Manager Advisor Residential Programme, Bill Hewitt on [Bill.Hewitt@eeca.govt.nz](mailto:Bill.Hewitt@eeca.govt.nz) or phone 027-420-5419*

EECA submission to the Buller District Council Draft Long Term Plan 2015-25

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J Larrington.  
61 Crampton Rd,  
REEFTON. 7830.

Hm (03)7328180.  
Mob 02040298364.

To whom it may concern,

I would like to forward a submission to be considered at the next Council Long Term Plan meeting. I would like to see the installation of dive starter blocks at the Reefton swimming pool. I have accompanied children my own included to the Solid Energy Centre Swimming pool in Westport for fun and competitive swimming. For most of them they have never even stepped up onto a starting block, let alone dive off. I find that this disadvantages the childrens confidence and their ability to compete.

Yours Sincerely



Joe Larrington.



**Name:** **Ronnie Buckman, Reefton Inc**  
**Hayley Cutbush, Manager, Reefton i-site**

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**Do you wish to be heard in support of your submission?**

YES

**Address:** **67 Broadway, Reefton**  
**Phone:** **Ronnie 03 732 8497 (shop)**  
**Hayley 03 732 8391 (i-site)**  
**Email:** **reeftongold@xtra.co.nz AND rvcinfo@xtra.co.nz**

**Topic:** **Reefton Inc & The Reefton Visitor Centre**

Reefton Inc and the Reefton Visitor Centre are two separate entities that have worked closely over the years. The Reefton Visitor centre (formed early 1990s) focussing on running the centre and promoting to visitors, locals and travelling public our many activities, events, interests etc; Reefton Inc (formerly ITP-Reefton Promotions, formed 2000) a wider community focus with its umbrella projects, a strong interest in the areas facilities and services, promotion of the area both within the town and externally, and with a business membership base.

Last year I submitted a joint submission seeking:

- The continued funding of \$15,000 for Reefton Inc and
  - An increase in the Reefton Visitor Centre funding from \$10,500 to \$20,500
- Both of which we received – so again, thank you to Council for this.

As part of this submission \$10,000 of Reefton Inc's staff time/coordination budget was to go to the visitor centre with the visitor centre staff undertaking much of Reefton Inc's community and promotional work. This \$10,000 combined with the additional \$10,000 requested of Council was required to offset the Reefton Visitor Centres \$20,000 operating deficit for the 2013-2014 year. As Council supported our submission, it has meant Reefton Inc continues and the Reefton Visitor Centre continued to operate over the past year, both organisations working for our town and for the Buller.

Also in 2013, our two committees made the commitment to Council to work towards formally merging the two organisations, and promoted the benefits of this.

This we have done. Last year a joint management committee was formed with representatives from both organisations and this has operated effectively over the past 9 months. The better resourcing for both organisations, the combined focus, and the diversity of the skill base of committee some of the benefits.

Reefton Inc currently has 13 financial business members and a further 9 businesses who participate in our promotions activities, e.g. advertise in the Reefton brochure and participate in the town's activities such as the Christmas shopping promotions. Business membership brings in approximately \$5,000 income.



1 May 2014

Reefton Inc (formerly ITP)  
C/- 31 Broadway, Reefton

Contact Ronnie Buckman  
Phone 0274 424 777 or 732 8497 (shop)

Signature: \_\_\_\_\_ Yes, we wish to be heard please

### SUBMISSION CTD

Reefton Inc and the Reefton Visitor Centre each have an annual business & marketing plan and associated budget, both of which we are operating within and are currently working on our plans and budget for the coming 2014-2015 year.

Over the past year we have submitted our quarterly Council reports, and we provide Council annually our business & marketing plans.

Looking forward, Reefton Inc and the Reefton Visitor Centre are in the strongest position we've been for a few years. Possibly not the strongest position financially for the visitor centre itself, but definitely in other ways:

- The visitor centre has the direct backing now of both organisations.
- The joint committee's skill base and their commitment to 'making things work' for the town and the Buller.
- Both Council and ICB representatives active members.
- The sharing of staff and supporting resources and a visitor centre team led by a now proven enthusiastic and capable manager.
- For the visitor centre the Reefton Inc membership base and its fingers into the many community projects.
- For Reefton Inc the visitor centre as a readily accessible and available base.
- The increase of the Reefton Inc business membership and opening this membership to community organisations and individuals, and the many great things happening.
- The upturn in the visitor market after the downturn of recent years.

Continued support from Council is really important to our organisations and to the community, both in funding and acknowledgement of the role Reefton Inc and the Reefton Visitor centre plays. We do make a real contribution to the functioning of the community, working in many areas, all with the aim of making our community a better place to live and visit.

**Both Reefton Inc and the Reefton Visitor Centre requests to retain our current level of funding for the 2014-2015 year**

- **\$15,000 for Reefton Inc**
- **\$20,500 for the Reefton Visitor Centre**



1 May 2014

Reefton Inc (formerly ITP)  
C/- 31 Broadway, Reefton

Contact Ronnie Buckman  
Phone 0274 424 777 or 732 8497 (shop)

Signature: \_\_\_\_\_ Yes, we wish to be heard please

## SUBMISSION CTD

**Reefton Inc and The Reefton Visitor Centre received a letter from council seeking input from our two organisations on:**

- 1. What is the economic gain for the community with the funding requested?**
- 2. How is the economic gain measured?**
- 3. What KPIs are relevant for your organisation and will enable us to measure success with the funding?**

This is a positive step and we're happy to put forward information to be discussed. Unfortunately the letter has been received only one day out from the submission deadline, so I'm sure you'll understand that I haven't included this information. We will do so before the verbal submissions on 22 and 23 May, and will speak on them at that stage also.

### **In addition, Reefton Inc wishes to support:**

- The Inangahua Community Board submission – and to acknowledge the important and active role the Board and the individual members play linking our community and Council
- The Blacks Point Museum annual operating grant
- The operation and continuing upgrade of our great community assets including our recently upgraded Reefton cinema, our newly lined swimming pool and our roller park which needs surface maintenance scheduled for the coming year
- Inangahua 2010 projects – another success story for the Inangahua - the continuation and completion this year of the four remaining projects – The Powerhouses, The Goldfields Journey, Broadway/the town and the Reefton Community Centre
- Hanging baskets – a great enhancement to our commercial areas giving a great splash of colour, we're hoping these are retained?
- Street flags – up until this summer, organised and funded by Council, the flags really enhanced Reefton's main street – if there are no funds available again, could Council consider coordinating a funding application from an outside body?
- Reefton Library & Service Centre – from 2011-2013 submissions, is Council still considering a trial for the library opening Saturday mornings or a week day evening?
- The Strand road, and part of our Reefton Urban Design groups plans – when will the upgrade of the actual 'Strand' road be achieved? – the removal of the yellow judder bars and broken cats eyes, completion of the footpaths, road verges, resurfacing parking areas including that alongside the swimming pool etc

## REEFTON INC 2015

*An information sheet on Reefton Inc provided for those who may not be that familiar with what we do*

For the past 15 years, Reefton Inc (formerly ITP) has worked on and with many community projects and activities within the Inangahua. It's focused on retaining, enhancing and promoting what we have, and in doing so, has worked with many community organisations, businesses, Councils.

Reefton today is a great place to live, and a place that is well appreciated by the many people who pass by and those who chose to stop and visit for a while.



Our main street with its unique lights, heritage shops with their facades and wooden verandah posts, hanging baskets, great footpaths and range of plantings, encourages many first time visitors and potential residents to stop and enjoy. Once stopped there is the opportunity to explore a little and see the amazing roller park, meet the Bearded Miners, enjoy a dip in the heated pool, picnic on the strand, take in a movie, play a round of golf or pop 'up the road' to Blacks Point to the museum, gold stamping battery or just wander along the streets looking at some of their gorgeous dwellings and cottage gardens.

Venture out into Victoria Forest Park, taking in a little, or all of the Goldfields Journey, mountain biking, 4WDing, tramping, going for a stroll, a spot of trout fishing, gold panning or a thrilling day rafting.

*Broadway, showing how good the flags look on our heritage lights, and the hanging baskets under our verandahs – they give life and colour to our main street – thanks to Council for these initiatives.*

### **Some of the community umbrella projects currently happening:**

- **Shop Front Upgrade project** – a successful project partnered with Development West Coast which during the period 2002-2006 has seen over 50% of the town's main street shop frontages upgraded and enhanced.
- 
- **R28, the Fairlie Engine** – project fully costed and boiler assessment achieved, awaiting to resubmit to Lottery application for first stage of restoration.
- **Reefton Goldfields Journey** – a partnership with DoC has seen infrastructure developed on the ground to link our key walking tracks into a 'Goldfields Journey' which is now out there in the market with initial marketing material. The official opening of the journey planned for March has been postponed to October.
- **Reefton Community Centre & Cinema** – there to act as an umbrella group for community fundraising and a supporting role for the upgrading of our cinema to digital last month – a great move for our community.
- **Reefton Roller Park** – an umbrella organisation for the parks construction, holder of funds for further completion and enhancement of the park, as well as an organisation for the informal roller park group
- **Reefton to Blacks Point Walkway** – a great initiative partly completed providing an off-road walking and cycling route between linking Reefton with Blacks Point



## REEFTON INC

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- Heli-biking at Kirwans – an activity increasing in popularity*  
– *made possible by DoC's commitment to the Reefton Goldfields Journey, Council's continuing support and a great photographer, Craig Madson*

### **Our Core Activities:**

- [www.reefton.co.nz](http://www.reefton.co.nz) – our Reefton website – take a look! Updated daily by the Reefton Visitor Centre for events, Reefton Cinema programme, community and business information etc.
- [www.reeftongold.co.nz](http://www.reeftongold.co.nz) – the Reefton Goldfields website managed by Reefton Inc – ongoing updating of Goldfields information along with aligning service information, e.g. accommodation etc, with [www.reefton.co.nz](http://www.reefton.co.nz), and ensuring all track and route information is maintained up-to-date
- Reefton brochure – twice reprinted the Reefton brochure, self sustaining with paid advertising from local businesses
- Reefton mountain biking brochure – reprinted from 2010 funds
- Summer festival – another successful festival operated and promoted via radio community noticeboards, local clarion posters, website, facebook, radio advertising
- Followed by an Autumn festival – taking in March and April activities – various community activity weekends, school holidays, easter and the Reefton Cinema opening
- Annual promotions – pre Christmas shopping promotion, winter weekend escapes, summer radio advertising
- Photograph and video library continues to grow – this year businesses linked in with CTV advertising who did some great video footage of our area and activities
- Reefton Urban Design committee – 2010 funding coming up will assist us to complete projects within the plan – the fifth block of heritage lights, further development on the strand, linking the strand with Broadway

This coming year we also need to upgrade the information kiosk at the public toilets, re-paint the 'welcome to Reefton' signs, upgrade some of our town walking brochures and street map.

Reefton's marketing thrust continues from the last two successful years – focussing on the Reefton Goldfields Journey or the 'Quartzopolis Goldfields' in all Reefton's promotional material. This is highlighting the many walks, tramps, mountain biking, 4WDing, fishing etc within Victoria Forest Park, bringing them together to market as a whole with Reefton as the hub. Marketing continues to align with the Buller and Tourism West Coast marketing.

**REEFTON INC - BUDGET CASHFLOW July 2015 - June 2016**

SUMMARY	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	Totals
<b>Operating B/Fwd</b>	<b>2,500.00</b>												
<b>Balance B/Fwd</b>	<b>1,890.00</b>	<b>4,280.00</b>	<b>2,970.00</b>	<b>2,970.00</b>	<b>2,610.00</b>	<b>2,500.00</b>	<b>1,890.00</b>	<b>1,280.00</b>	<b>670.00</b>	<b>560.00</b>	<b>2,700.00</b>	<b>2,590.00</b>	<b>2,500.00</b>
Total Receipts	440.00	2,940.00	440.00	440.00	440.00	440.00	440.00	440.00	440.00	2,940.00	440.00	440.00	10,280.00
Total Expenditure	1,050.00	550.00	1,750.00	800.00	550.00	1,050.00	1,050.00	1,050.00	550.00	800.00	550.00	550.00	10,300.00
Total Cash Flow	-610.00	2,390.00	-1,310.00	-360.00	-110.00	-610.00	-610.00	-610.00	-110.00	2,140.00	-110.00	-110.00	-20.00
<b>Ending Balance</b>	<b>1,890.00</b>	<b>4,280.00</b>	<b>2,970.00</b>	<b>2,610.00</b>	<b>2,500.00</b>	<b>1,890.00</b>	<b>1,280.00</b>	<b>670.00</b>	<b>560.00</b>	<b>2,700.00</b>	<b>2,590.00</b>	<b>2,480.00</b>	<b>2,480.00</b>

**RECEIPTS**

BDC Grant	2,500.00												5,000.00
Business Membership	440.00	440.00	440.00	440.00	440.00	440.00	440.00	440.00	440.00	2,500.00	440.00	440.00	5,280.00
<b>Total Receipts</b>	<b>440.00</b>	<b>2,940.00</b>	<b>440.00</b>	<b>440.00</b>	<b>440.00</b>	<b>440.00</b>	<b>440.00</b>	<b>440.00</b>	<b>440.00</b>	<b>2,940.00</b>	<b>440.00</b>	<b>440.00</b>	<b>10,280.00</b>

**DISBURSEMENTS**

General & Admin Expenses	50.00	50.00	50.00	50.00	50.00	50.00	50.00	50.00	50.00	50.00	50.00	50.00	600.00
Public Liability Insurance	500.00												500.00
Accountancy Fees		1,200.00											1,200.00
Website Hosting	500.00	500.00	500.00	500.00	500.00	1,000.00	1,000.00	1,000.00	500.00	250.00	500.00	500.00	500.00
Promotional Activities													7,500.00
<i>(as below)</i>													
<b>Total Expenditure</b>	<b>1,050.00</b>	<b>550.00</b>	<b>1,750.00</b>	<b>800.00</b>	<b>550.00</b>	<b>1,050.00</b>	<b>1,050.00</b>	<b>1,050.00</b>	<b>550.00</b>	<b>800.00</b>	<b>550.00</b>	<b>550.00</b>	<b>10,300.00</b>

Coordinator of projects | 800.00 | 800.00 | 800.00 | 1,000.00 | 1,000.00 | 800.00 | 800.00 | 800.00 | 800.00 | 800.00 | 800.00 | 800.00 | 10,000.00

- Reefton Visitor Centre

	Core ITP	Other \$\$	Total
<b>\$\$\$ Needed for planned activities</b>			
Reefton brochure reprint		2,800.00	2,800.00
Reefton street map	200.00	300.00	500.00
Continue to update photograph library	1,500.00		1,500.00
Video footage	500.00	3,000.00	3,500.00
TVs around town promoting the area		1,800.00	1,800.00
I-kiosk panels at public toilets		2,600.00	2,600.00
Pre xmas shopping promotion		1,600.00	1,600.00
Summer festival	2,000.00		2,000.00
Winter/spring/autumn 'festivals'	500.00		500.00
Misc promotions / market days / w/end breaks	300.00		300.00
Street flags		4,500.00	4,500.00
Welcome to Reefton signs repainted		3,000.00	3,000.00
Last block of heritage lights installed		3,000.00	3,000.00
<i>Note - all advertising incorporates the area, events, the town, the park, the goldfields journey</i>			
	5,000.00	19,600.00	24,600.00

Advertising pays for the reprint  
Initial set up, advertising will pay for in future  
Every two years, due this year again  
Develop video footage for promotional use  
For town events, movies, mountain biking, tramping etc  
A 2010 project to be completed 2015, entrance to Buller  
An annual business promotion, self funding  
An annual event, marketing of, incl radio advertising  
Marketing of events, incl radio advertising, flyers  
Marketing of, incl radio advertising, flyers  
No longer in Council budget  
A 2010 project to be completed 2015, x2 signs  
A 2010 project to be completed 2015-2016 year

**RVC BUDGET 2015 - 2016**

<b>Income</b>	
ANZ ATM	\$996.00
BDC Grant	\$30,500.00
BNZ Rent/Power	\$18,400.00
DoC	\$35,000.00
DoC Power rebate	\$3,400.00
Reefton Cinema	\$15,600.00
Reefton Gym net income	\$600.00
A & P Show	\$1,000.00
Sundry Income	\$5,000.00
Gross Trading Profit	\$36,000.00
<b>Total Income</b>	<b>\$146,496.00</b>

Including what was Reefton Inc \$10,000.

Including retail, bookings, Doc sales.

<b>Expenditure</b>	
ACC	\$250.00
Accountant Fees	\$1,000.00
Advertising	\$2,500.00
Bank Charges/Eftpos	\$1,700.00
Building/WOF	\$1,450.00
General Expenses	\$2,000.00
IBIS till system	\$2,400.00
Insurance	\$7,376.00
Office Expenses	\$4,000.00
Phone/Fax/Internet	\$1,000.00
Power	\$18,000.00
Rates	\$6,000.00
Repairs/Maintenance	\$4,000.00
Subscriptions/License	\$2,100.00
Staff Training	\$2,000.00
Uniforms	\$500.00
Wages/PAYE	\$90,000.00
<b>Total Expenditure</b>	<b>\$146,276.00</b>



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susan.watson@clear.net.nz

25<sup>th</sup> May 2015

Sharon Roche  
Chairperson  
Buller District Council  
Finance & Audit Committee

Dear Sharon

**Re: Funding Agreement with Coaltown Trust in Relation to  
Buller District Council Long Term Plan**

From October 2014 until now, the Coaltown Trustees have worked very hard to ensure that Coaltown museum and I-Site are operating as efficiently as possible. We have now reached the point where we cannot operate any more efficiently.

Staffing Levels are at a minimum required to run the operation. AA while generating revenue, actually cost more to run than the revenue supported and so we have given notice to AA of our intention to exit the provision of this service. AA have chosen to place this at Betta Electrical and this should be completed by July end.

We believe that our donations received should be set aside to expand our museum but until now they have been used to support operations across the 2 sites. As from now we intend to place all of our donations in a separate account and utilise this funding only for the future expansion of the museum.

The key to our future success is to generate:-

- More visitors to the museum
- Greater number of commissioned sales
- Greater Retail sales
- Greater Number of Advertising Revenue

These are the areas we will be focusing on for 2015/2016 as well as seeking more donations.

It is with these comments in mind that we believe that while in 2015/2016 you plan a reduction of our 'Conditional Grant' of \$22,616.00, we do not believe that we will be able to operate if a further reduction in funding occurs in subsequent years.

As we have restructured our operations to run as efficiently as possible we now request that future reports to the Finance and Audit committee cease. We are only too happy to continue providing a copy of our monthly Cash Flows and actual against budget reports to you along with visitor numbers and End of Year Financial Accounts. In addition we are happy to answer any questions that you may have of us. We want to continue to be open and transparent.

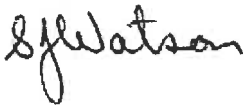
As part of our 'Conditional Grant' agreement with you, we were to provide a set of audited accounts for year end June 2015. In sourcing an external auditor it has come to our attention that to comply with this request it will cost in the order of between \$8000 - \$10,000. This cost is prohibitive to us as an organisation and request that if this is still a requirement that The Buller District Council fund the cost of this please.

- 1 -

We would like to thank you for your 20014/2015 financial assistance in respect to the rent relief on the site that we currently occupy. In addition to that we are very appreciative of the \$1 10,000pa that we receive from Council as we would not be able to operate without this grant. We would also like to thank you for supporting us through our 2015/2016 year which has been very challenging and soul searching at times.

We believe we are now placed in a much better situation going in to 2015/2016 and are all looking forward to the future of Coaltown. We look forward to an ongoing positive working relationship with the Finance and Audit Team into the future.

Kind Regards

A handwritten signature in black ink that reads "Susan Watson". The signature is written in a cursive style with a large, looped 'S' at the beginning.

Susan Watson  
Chairman  
Coaltown Trust

# Submission Form

BULLER DISTRICT COUNCIL

29 MAY 2015

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Please read the Consultation Document and/or the Draft Long Term Plan before providing your feedback.

Please return your completed form to Council by **4:30pm Friday 29 May 2015**:

**Email:** [submissions@bdc.govt.nz](mailto:submissions@bdc.govt.nz)

**Fax:** [03] 788-8041

**Post:** Buller District Council, PO Box 21, Westport 7866

**Deliver to:** Buller District Council, Brougham Street, Westport 7925

Tell us  
what you  
like?

## Submitters details

Name: (Mr) Mrs/Miss/Ms:

Kevin Fastier

Organisation (if relevant):

South Granity Water Board

Do you wish to be heard in support of your submission? Yes  No

Address:

60 New Road Granity 7823

Phone:

03 - 7828656

Email:

Kevin.fastier@Aur.co.nz.

**Key Issue:** We would like to negotiate a set of rules/guidelines between the council and the South Granity Water Board (SGWB)

**Comments:**

The (SGWB) would like to negotiate a set of rules/guidelines between ourselves and the council for next year

In these rules there needs to be a memorandum of understanding (MOU) outlining all charges the council is going to charge the ratepayers for administration.

Over the last six years the council has charged between 20% and 47% for this work. (For example in the year 11/12 there was an administration cost of \$3020. The total rates income for the targetted ratepayers was \$7800. This is a 38% admin cost) This is not fair and unsustainable.

As a small group of ratepayers we want to make every dollar count. In the next couple of years we maybe installing a new water treatment system which could cost tens of thousands of dollars.

We are a newly elected committee and we would like the opportunity to engage with council and agree with the administration costs and how the rates are struck.

**Thank you for your feedback**

Submissions must be received by

4:30pm Friday 29 May 2015

Anything  
else to  
comment  
on?

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Inangahua Community Board Submission  
to Buller District Council LTP 2015-2025

**We wish to speak to our submission**

Inangahua V2010 Projects funds 2014-2016

- In June 2006 Council resolution made provisions of ratepayers' funds for Vision 2010 Projects in the LTCCP.
- Inangahua Projects were allocated \$600,000 of ratepayers funds.
- \$1.2m was allocated overall to Inangahua Projects
- An Inangahua Projects Working Group was set up to determine the projects.
- Consultation with the community occurred prior to April 2007
- In 2007 Council endorsed the working group's proposal for the projects and
- approved Inangahua funding allocation to the projects
- From November 2007 to November 2013 eleven projects have been completed.
- The last four projects have been active over their years of funding with current balances remaining for -
  - Reefton Walkways \$3931.00
  - Powerhouse \$9636.00
  - Broadway \$76,146.00
  - Strand \$1775.00
  - Reefton Community centre \$66,593.00
  - Reefton Community Centre \$60,000.00 to come in 2015/16

The V2010 projects have refreshed the townscape and surroundings, with amenities in particular receiving much needed upgrades. It has boosted the major current project the Powerhouse, with the potential from this for economic returns to the town.

Action requested:

That Council's LTP 2015-2025 clearly show these Inangahua Vision 2010 remaining funds  
And that these funds remain tagged to the projects above for the 2015-2016 budget

## Reefton Sports Complex

:

- The race course grounds ownership is owned 50/50 with the Racing (Jockey) club and the Trotting club with the governing body being the Reefton Sports Park committee with representation from the Racing and Trotting committees.
- This includes all buildings – racing members complex incorporating rugby rooms and squash courts, grandstand, totalisator, tearooms, toilet block, covered tie-up stalls and an older stabling complex
- The Reefton rugby club has a third ownership of the racing members complex
- The race members complex / rugby rooms / squash court was designed for multi-purpose use
- Unfortunately the upstairs social room was not made accessible for the elderly, making it difficult for these people to climb an open-step, steep staircase, with no toilet upstairs, thus denying them participation in prize giving etc.
- There is an upcoming urgent need for a new totalisator building on the grounds, and this could be incorporated into an upgrade of the existing members complex.
- There is also an opportunity for other sporting codes to be recognized in a possible extension of the complex, where a netball/basketball court would be built.
- Rugby, netball and soccer have been the mainstay sports across the population of the district, including youth and adults. Currently netball does not have a covered court, and soccer has used the camp ground reserve in the past.
- The proposal for upgrading the members complex / rugby rooms is long overdue
- The proposal to extend this complex to incorporate netball is ambitious and needing greater sponsorship

### Action requested:

That Council consider taking a lead in the funding of a good sports facility in the Inangahua through granting some seed funding which would signal significant local authority support for the project and help the organizers of this project to attract similar funds.



## Reefton Swim Pool

- The pool is operated on contract with Solid Energy Center
- The season opens at the start of the September school holidays
- The current 26 week contract has the season finishing short of the April school holidays
- This year the community requested the contract extend into the April Easter holidays
- Council facilitated this extension, with afternoon hours 1-4pm only
- Cost to Council was around \$3000 for those 2 weeks
- An innovative school holiday programme instigated by Reefton Inc ensured good use of the extended pool weeks
- Manager of SEC has noted the success of these numbers
- Reefton Inc has signaled its interest in repeating this school holiday program for the Easter holidays

### Action requested:

That Council extends the pool season out to 28 weeks, to incorporate the April/Easter school holiday 2016, and beginning with the September school holidays 2015

- At a competitive swim meet this season, it was discovered that swim club members from Reefton did not understand the use of diving blocks.
- The diving block would have to be removable, to prevent young users from playing on it
- SEC estimates the cost of one removable diving block for the Reefton pool at \$2000 plus installation

### Action requested:

Council fund the cost of one removable diving block for the Reefton pool

## Reefton Community Centre

- Currently there is public consultation in the process of determining how this large building (2 halls) will be used in the future
- It has been decided that the Sports Hall will be retained and earthquake strengthened
- Council has set aside \$130,000.00 in the LTP for this
- The theatre/cinema will undergo some upgrade and be earthquake strengthened
- Council has set aside \$350,000.00 in the LTP for this
- An enhancement option has been proposed where the vacant back area between the two halls could be utilized, incorporating a toilet upgrade which would give more room in the foyer. It could also incorporate the extension of the two small dressing rooms if desired, and would require shifting the boiler towards the rear.
- Advantages of this enhancement would mean
  - less exterior walls to maintain
  - a more accessible diesel heating tank for the re-fuelling truck
  - new heat ducts leading from the boiler (which V2010 was proposing anyway, along with 2 heat fans per hall for efficient heat delivery)
  - solves a fire risk from the use of the vacant back area as a teenage meeting spot
  - extra strengthening of the two halls could be gained by effectively 'joining' them structurely by spanning this vacant back area and utilizing the interior space created.

It is hoped that the V2010 funding still committed to the Community Centre (\$126,593.00) will be used to upgrade the interior requirements in the theatre/cinema and sports hall.

Action requested:

That Council consider underwriting any cost above \$350,000.00 if the enhancement proposal is recommended by the Community Board. This proposal would give significant reduction in exterior maintenance.

## Reefton Inc. / Reefton i-Site

- The two groups are semi-merged, in that they now operate under the one committee
- The i-Site staff turnover has meant a huge learning curve for its new manager and assistant
- Self funding is still a struggle for the i-Site but it continues to seek other avenues of income
  - Gym membership management
  - Cinema management
  - A&P Show stall promotion and bookings
  - Usual i-Site travel bookings
  - Refreshed retail area
  - Rental from BNZ lease
- Jan-March visitor numbers are on the increase compared to the previous year
- This increase is borne out also with Murray Creek track count for 7 weeks Jan-Mar at 1800, and 5 weeks April to early May at 1200
- Reefton Inc continues to market the Inangahua area : brochures, website, etc
- Specific partnership with DoC where advertising banners costing \$180 and 200 brochures were sent to the Rotorua event 'crankworx' on March 28, an international mountain bike race, held for the first time in the southern hemisphere and previously held at Whistler in Canada, and in the French Alps.
- Interest in Reefton's mountainbike tracks has directly increased from this marketing ploy
- Kirwans Tracek helibike customers have also increased according to the helicopter pilot

Reefton Inc continues to be supported by its business members and has a community profile of helping within the town, as well as marketing the area to NZ

Reefton i-Site provide the welcome mat for our visitors as a physical presence here to help on a regional basis.

Action requested:

That Council continue with the current level of funding for Reefton i-Site and Reefton Inc.

## Blacks Point Museum Trust

- Blacks Point Museum continues to effectively promote and preserve the cultural and industrial history of the Buller Region.
- Visits from Overseas Adventure Tours and Around the Globe Tours are steady. New initiatives are in place to entertain (mainly American) bus tourists, including lunch and music in Blacks Point gardens after the Museum Experience.
- The Museum continues to host researchers and independent travellers. Charges remain the same.
- Buildings, grounds, and the Historic Reserve are in good order, thanks to the efforts of the Curator and a small group of volunteers.
- The Museum Trust runs a tight ship. Annual income is spent on wages, heating and maintenance with little left over.

### Action requested

- That Council grant \$10,000 towards Curator's wage.
- That Councillors visit the Museum and Historic Reserve.

## Management of Reefton Cinema

- Currently the Reefton i-Site manage the movie selection and ordering, and do so extremely well
- The financial and staff management is undertaken by NBC theatre
- ICB support the i-Site suggestion of now managing the full Cinema operation including staffing, financials and bookings of the cinema and theatre
- The i-Site, umbrellad by Reefton Inc, have produced a management budget
- The budget includes a contract price from Council to manage these operations
- Advantages all round include:
  - Reefton Community get direct input into movie choice
  - There is the opportunity to maximize the movie experiences to increase income
  - Opportunity to be entrepreneurial with marketing
  - With community management there is greater opportunity to secure funds outside Council
  - Indications are that a good film will attract good local business sponsorship
  - Our community needs to make the cinema successful to continue to build a vibrancy to living in Reefton
  - The i-Site full management budget produces the same level of financial spend as that of Council's present budget
  - There are no cost overruns liable on Council, the community takes all risk
  - The i-Site continues to work towards their sustainability

Action requested:

That Council agree to Reefton i\_Site's full management of the cinema and theatre as per the budget produced by Reefton i-Site manager in their submission to this LTP

### Reefton Pensioner Housing.

- There are currently 16 Pensioner Housing Units in Reefton and all are occupied.
- There are currently 7 people and 1 married couple on the waiting list
- All of the units are adequate for single people but none are of a suitable size for couples. Regardless of this, one single unit is currently housing a couple and they are paying a 2-person rent.
- Two of the units are very old and they were scheduled for replacement in the 2015/16 period.

### Action requested:

- That Council replace the two older units as previously planned.
- That the new units have two bedrooms or one large bedroom to make them more suitable for the accommodation of couples.
- That Council continues talking with Tai Poutini with a view to having their Building Course trainees construct units for Reefton or -
- That in order to eventually reduce the cost of future units Council consider the feasibility of working with other rurally based district councils with a view to adopting a common building plan and having units prefabricated by a firm specialising in that field.

## Reefton Roller Park

- The Reefton Roller Park is a relatively large park (40m x 50m) with a good variety of boxes, rails, and ramps. An unusual feature is that it has two bowls (most older parks lack even one).
- The park has been designed for use by skateboarders, scooterers, BMX-ers, and roller skaters. It is a park that is suitable for novices to learn on while at the same time it can be challenging for more experienced users.
- In October this year the park will celebrate the tenth anniversary of its opening. Although the park is aging it remains one of the better South Island skateparks and a “must go there” park for skaters all over the South island. It is also internationally known.
- The park attracts many visitors from out-of-town, some of whom will stay in Reefton for a day or two. Skaters, scooterers, and BMX-ers from Greymouth, Nelson, Christchurch, and Motueka are regular visitors to our park.
- Over the Summer months and into Autumn the park has been lit on Friday, Saturday, and school holiday evenings. The lit park looks very attractive after dark and it has drawn a regular number of local users (especially BMX-ers) who have thoroughly enjoyed being able to use the park as the heat goes out of the day. The abilities of these young people have developed quite dramatically and they enjoy displaying their skills to any parents or visitors who happen to come along. A key to having the park being trouble-free in the evenings has been having an adult present as an observer.
- A number of casual visitors to the town have also enjoyed being able to use the park in the summer evenings and in particular there have been groups of very well-known highly-skilled skaters from Christchurch and South Canterbury present.
- The park has a problem with its degrading surface. It could eventually become a safety issue and it does diminish the good skating experience the park has provided in the past. The park needs some “tender loving care” as the saying goes.

Action requested:

- That Council consult with firms/individuals specialising in the construction of skateparks, or working with concrete, to ascertain the most practical way in which the deteriorating surfaces can be repaired or restored.
- Council allocated the sum of \$5,000 in its 2014/2015 budget for resurfacing work. This sum has not been spent as the most effective way of doing this restoration work has not yet been ascertained. The Board requests the unspent \$5,000 be carried forward for a further year in the hope some restoration work can be carried out in 2015/2016. Such work is likely to be expensive.
- That a small part of this \$5,000 would be made available in early summer to paint the bowls and some of the ramps as this will act to prevent further deterioration of those surfaces.
- Council also allocated \$2,000 in its 2014/2015 for the installation of a drinking fountain. If the fountain has not been installed by the end of this financial period the Board requests this sum too be rolled over to the 2015/2016 year so this work can be done before the coming summer.



The re-seal of the Strand Road, Reefton including the carpark area behind the i-Site.

- The Strand is the collective area of road and recreational area running between the bank of the Inangahua River and the backs of the town shops.
- The road is primarily used by trucks bringing goods in to the town's shops; by people accessing the Roller Park, Swimming Pool, and the recreation area along the river bank including one of only two dog walking areas in Reefton.
- The Strand Road widens into an area behind the i-Site and is used as a carpark (Supervalu, i-Site, motel customers, Dept Conservation offices) which alleviates parking on the mainstreet. It is also used by those meeting in the i-Site meeting room, requiring gumboots on rainy days.
- This area has always been a puddle and V2010 funds were used to shingle it in 2012 when the Strand riverbank was being upgraded. But it has returned to being gouged and puddled and we feel the roading seal is now being compromised by the sitting water.
- The Strand Road re-seal was discussed with the Community Board and your Manager of Operations with Council plans dated January 2011 'The Strand Footpath & Drainage Control, Plan & Longitudinal Section', where better drainage off the seal was proposed (which would mitigate the mud puddles behind Broadway business' back access ways) and pedestrian crossing type 'judders' were planned and installed.

Action required:

That Council move to re-surface the Strand Road and include re-surfacing the shingled area behind Supervalu and the i-Site.

## Reefton Fitness Centre

- A Vision 2010 project, the 'gym' opened on December 19, 2010
- Membership has remained on the 30 for the past 4 and half years
- Devine Fitness Equipment has maintained the equipment over this time
- Geoff Devine advises that the treadmill and cross trainer will need replacing around this time next year if we wish to get a reasonable trade in on the existing ones.
- The 'gym' has 6 cardio machines and 8 weight (resistance) stations with an original cost of \$31957.00 incl freight, excl GST (1 treadmill, 1 cross trainer, 2 rowers, 2 bikes, 1 multistation for pull downs/crossovers, 1x leg press, 1x bench press/shoulder press, dumbbells and adjustable bench)
- The cost for renting the above equipment would have been \$10806 - \$13787 per annum
- Owning the equipment has proven the less expensive option (\$5818 p.a. over 5.5 years)
- The cardio equipment would eventually require replacement, whereas the weight stations are more static (less wear and tear in their operation)
- Devine Fitness Equipment quote \$7995 for a treadmill less \$1100 for the trade in, \$7295 for a cross trainer less \$795 for the trade in. with \$245 freight and installation, total \$13640.00 GST excl
- The quote comes with a warranty: 7 years for frame, 3 years for motor, 18 months for belt and deck, or 4000 hours whichever comes first, 2 years limited warranty for all electric and mechanical components, 12 months for saddle, pedal, pedal straps, USB connector.

Action requested:

That Council make a budgeted provision in 2016/17 for \$13640.00 for replacement of Reefton Fitness Centre equipment.

# Submission Form

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Please return your completed form to Council by **4:30pm Friday 29 May 2015**:

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**Fax:** [03] 788-8041

**Post:** Buller District Council, PO Box 21, Westport 7866

**Deliver to:** Buller District Council, Brougham Street, Westport 7925

Tell us  
what you  
like?

## Submitters details

Name: Carrynne Scarlett

Organisation (if relevant): \_\_\_\_\_

Do you wish to be heard in support of your submission? Yes  No

Address: 4870 Karamea Highway, R D 3, Karamea 7893

Phone: 03 7826681

Email: carrynne@scarlettarchitecture.co.nz

**SAVE the form BEFORE emailing to Council, otherwise your changes will be lost and you won't have a copy.**

### Key Issue (max 370 characters):

"Council is committed to economic development and diversification and recognises that this can be best achieved by local action..."

### Comments (max 2,700 characters):

The people of Karamea recognised this when they took the opportunity to be part of an in-depth, professional urban analysis of the district during 2014. There was strong support for making Karamea an attractive place to live, work and play, and to move us forward with pride to meet new economic and social challenges.

To this end, many people have already put a large amount of voluntary time into developing a concept master plan for the district primarily based on utilizing and enhancing the special built and natural assets that we already have. The documents that encompass this already form part of Karamea's input to the LTP.

There is an enthusiasm both within and outside Karamea to see the implementation of this plan begin - let's get it started while the enthusiasm is there!

More detailed professional design work is required to further develop the Master Plan in order to unleash this enthusiasm and to make the most of valuable opportunities while it is still timely (like encouraging the cycling regime while The Old Ghost Road and Heaphy remain topical and the BDC Walking and Cycling Strategy in still in place).

To make the project happen will take time, money and encouragement. It is hoped that the BDC will provide support for Karamea in all of these areas - not just with direct financial help but by keeping the Karamea Consultation Group informed of any potential grant funding that they become aware of, any potential funding partners they become aware of, providing professional assistance for grant applications etc if required, by taking an active interest in whatever may be

**SAVE the form BEFORE emailing to Council, otherwise your changes will be lost and you won't have a copy.**

## Thank you for your feedback

Submissions must be received by

4:30pm Friday 29 May 2015

Anything  
else to  
comment  
on?

Chris CJC.O.NZ

789-8425

PO Box 204, WPT

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**BULLER CIVIL DEFENCE SUBMISSION TO  
LONG TERM PLAN 2015-2025:  
CIVIL DEFENCE PUBLIC WARNING SIRENS**

**Purpose of Submission**

Buller Civil Defence (BCD) wishes to submit on the Draft Long Term Plan 2015/2025. BCD sees there is a need to introduce a public warning siren system for the community. Warning systems give reassurance to the community that there is a standardised, universal system being adopted by their Council.

A public warning siren system allows Civil Defence to warn the community of an imminent natural hazard or technological crisis that precipitates the public at risk into carrying out measures to ensure their own safety in the communities they inhabit. The Civil Defence Emergency Management (CDEM) education strategy advises them what to do next once the sirens have sounded e.g. listen to the radio for the key Civil Defence messages. Sirens indicate that the community and administrative infrastructure is now operating in a different mode.

This submission will review other operational systems already in use in New Zealand and internationally. In addition, it will recommend siren types and outline numbers required, estimated costs and prioritises where the first sirens should be positioned.

The Buller Civil Defence Controller, Chris Coll, would like to speak to this submission.

**Background**

Historically, BCD had an understanding with the local fire brigade that their fire siren could be used on the “rising and falling tone” to warn the public of a Civil Defence event. However, this agreement has been terminated due to some rural fire stations in other parts of New Zealand using the same tone. This has led to a consequent risk of public confusion. Additionally, the local fire siren will not operate if there is a loss of electrical power.

**New Zealand-wide Civil Defence Siren Systems**

In the years following the tsunamis of the 2004 Indian Ocean earthquake, “Meerkat” electronic sirens were installed in all populated areas of the west Auckland coastal areas lower than 10 metres.

BULLER CIVIL DEFENCE SUBMISSION TO LONG TERM PLAN 2015-2025:  
CIVIL DEFENCE PUBLIC WARNING SIRENS

Civil Defence siren networks are in place at Wanganui, Lower Hutt, Napier, Wanganui and the former Waitakere City area of Auckland. There is a dedicated Civil Defence siren in Mount Maunganui and in Tokoroa. Whangamata has two dedicated Civil Defence sirens. Timaru has numerous Civil Defence sirens spread throughout the city. Shag Point also has Civil Defence sirens.

In the Western Bay of Plenty, several fire sirens are used as Civil Defence sirens. In South Waikato, Tokoroa, Putaruru and Tirau, fire sirens are also Civil Defence sirens. The Whangamata fire siren is also a Civil Defence siren.

The Ministry of Civil Defence and Emergency Management (MCDEM) has issued a new national standard regarding sirens. MCDEM has developed a duplex sounding siren that is expected to be used throughout the country in order to provide consistency. During a Civil Defence emergency, the CDEM education strategy will enable the community to distinguish between different sirens and recognise the tone as a Civil Defence alert sound.

### **Discussion**

The MCDEM has commissioned a number of reports to address the best way of notifying the public of hazard events. It states that effective warning systems should:

- Be focused on the people at risk;
- Be able to be understood by all in the same way;
- Be capable of reaching people irrespective of what they are doing;
- Be easy to access and use;
- Not create additional risk;
- Be reliable;
- Provide appropriate lead time so people can have a chance to protect themselves;
- Generate authenticated messages.

A warning is considered effective when it reaches 95% of the at risk population (Mileti and Sorenson). It is important to have multiple alerting systems within an area as all alerting mechanisms are at risk of unexpected failures. Sirens are only one of several tools to be used.

Some communities use mass texting in conjunction with sirens or in isolation. The public alerting system at Shag Point involved a telephone tree, car horns, door knocking and verbal contact. The new solar powered siren adds to this simple economic local alerting system. It has been commissioned and tested so residents are aware of the siren cycle.

A public warning siren system in Westport is likely to be used in the event of:

- Chemical toxic spill;
- Significant flood event;
- Severe wind storm;
- Severe thunderstorm warning;
- Potential tornadoes;
- Damaging hailstorms;
- Tsunami;
- Significant fire;
- Any other serious significant community impact event where key CDEM messages may be required.

The active Cape Foulwind Fault located about 8km to the west of the Buller coastline is a potential tsunami source. Earthquakes offshore from Westport occurred in 1913 and 1962, demonstrating the Cape Foulwind Fault is active. The 1913 earthquake (with an estimated magnitude of 6) generated a 1.5m high tsunami but the 1962 earthquake (with an estimated magnitude of 5.9) did not generate a tsunami. The average time between large earthquakes is approximately 10,000 years (i.e. the recurrence interval). If a large earthquake at this fault generated a tsunami, then it would only be a matter of a few minutes before the local coastline was hit. In the event of a distant tsunami originating from Chile, we would have 30 minutes warning time from New Zealand sources in Fiordland and 12-15 hours warning from sources in Chile.

Similar to the Shag Point siren arrangements, sirens in Westport would be solar-powered and sit either attached to power poles or reside on key buildings (e.g. the Marine Tower at Carters Beach Tiphead). They would operate on a set cycle e.g. five minutes on and two minutes off for three

cycles. They would be activated by telepager from the Council's Emergency Operations Centre (EOC) or by the Duty Emergency Manager remotely via a cellphone.

### **Recommendations**

1. That two public alerting dual speaker solar-powered sirens are purchased to be installed at the Marine Tower on the Carters Beach Tiphead and at the Punakaiki area;
2. That sirens be controlled from the Buller District EOC or Emergency Service vehicles and that they are able to be individually controlled for activation dependent on the at-risk area;
3. That a public education programme to advise residents of the hazardscape and the Buller District warning systems be established that will instruct residents about the siren alerts and the processes to be followed should the sirens sound;
4. That \$40,000 be set aside for the public warning siren project and associated education programme over two to five financial years;
5. That the siren project and education programme could possibly be funded from rates or the disaster fund

### **Summary**

Public alerting sirens used by Territorial Authorities offer a cost efficient way of informing the public of an imminent risk. A number of New Zealand councils have extended or installed new sirens since the recent tsunamis in Indonesia, Samoa and Japan. Solar-powered sirens not reliant on an external electricity supply are becoming a preferred choice. Sirens can be used for a number of hazard type events. They are a tool to be used in conjunction with other measures to advise the public of a risk that threatens them and the safety of their community.

## References

Prasetya, G., Palmer, N., Wang, X. and Grant, G. 2011. *Tsunami inundation modelling for Riverton and New River Estuary Southland*. GNS Science Consultancy Report.

Mileti, D. and Sorensen, J. 1990. *Communication of emergency public warnings: a social science perspective and state-of-the-art assessment*. Oak Ridge National Laboratory, Oak Ridge, TN.

Ministry of Civil Defence and Emergency Management. 2009. *Public Alerting: Options Assessment Information for the CDEM Sector [IS10/09]*.



# Submission Form

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**Fax:** [03] 788-8041

**Post:** Buller District Council, PO Box 21, Westport 7866

**Deliver to:** Buller District Council, Brougham Street, Westport 7925



## Submitters details

Name: Mr/Mrs/Miss/Ms: John Sepie

Organisation (if relevant): \_\_\_\_\_

Do you wish to be heard in support of your submission? Yes  No

Address: Utopia Rd.

Phone: 789 6920

Email: sepie@xtra.co.nz

**Key Issue:** enhance the experience in our districts icon sites  
Communicate with us via a shop in Palmerston St.

**Comments:**  
I wish to see concept planes started with local  
input for wharf area from Halcim's silos to Aderley St  
Warren Park, a potential asset to the town  
has looked embarrassingly sad and neglected  
for some years now, the access road is a  
challenge to most vehicles. This area, in most  
many other towns would feature toilets  
BBQ area and fire pit locals would love to  
have input into developing this before next  
summer, lets see what we can do.

thanks John  
I feel @ouncil's communication with the town  
could be enhanced via a small shop in Palmerston St.  
Planes & drawings photos & ducks on the walls  
above the coffee machine, couches & coffee tables,  
from the salvos, cheap sound system playing local Artist.  
suggest it be staffed by councillors and office staff  
open Mon Wed Fri 11a -> 2ee

cheers John

**Thank you for your feedback**

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## Submitters details

Name: Tiana and Ike Shepherd

Organisation (if relevant): \_\_\_\_\_

Do you wish to be heard in support of your submission? Yes  No

Address: 28 Horncastle Crescent, RD3 Karamea

Phone: 7826972

Email: itshepherd@hotmail.co.nz

**SAVE the form BEFORE emailing to Council, otherwise your changes will be lost and you won't have a copy.**

## Key Issue (max 370 characters):

Ongoing Maintenance on the little Wanganui Sub Division Road.

## Comments (max 2,700 characters):

We live at the Little Wanganui Sub Division and have concerns with the gravel road we have to travel on to get in there.

The state the road gets in between being graded is unacceptable. We have numerous pot holes and it gets to the stage where it is unavoidable to stay out of them.

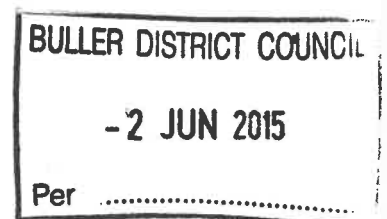
Vehicles using this road are constantly needing wheel alignments, not to mention the mud and dust that covers them.

This road would benefit from being sealed, it has more vehicles using it now than it ever has.

The problem part of the road that floods (suicide Bend) would need to be left unsealed or a larger culvert put in under the road but the rest really needs a long term solution resolved.

We would appreciate the council taking the time to look into this problem and informing the subdivision community of their intentions and what the outcome we be with this situation.

Thank you  
Tiana and Ike Shepherd



**SAVE the form BEFORE emailing to Council, otherwise your changes will be lost and you won't have a copy.**

## Thank you for your feedback

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4:30pm Friday 29 May 2015



# Submission Form

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## Submitters details

Name: Mr/Mrs/Miss/Ms: Paul Thomas

Organisation (if relevant): Individual + Future Dough Company Ltd

Do you wish to be heard in support of your submission? Yes  No

Address: 31 Broadway Reefton

Phone: 0274 474 777

Email: paulthomasreefton@icbud.com / thebroadway@xtra.co.nz

Key Issue: \_\_\_\_\_

Comments: See attached.

BULLER DISTRICT COUNCIL  
- 2 JUN 2015  
Per .....

**Thank you for your feedback**

Submissions must be received by

4:30pm Friday 29 May 2015



## BULLER LONG TERM PLAN SUBMISSION

- 1) 'Positioning For Progress', What Does This Mean????? In this day and age we should be talking about positioning for long term sustainability - places, community, culture, environment (built and natural), economy, this puts a number of things in context, and the need to understand the inter-relationships, that are required to be considered, one element is not separate from the other!
- 2) In developing the plan the council has not consulted across sectors, it decided remissfull not to consult in the development of the draft plan! The plan is its own developed position. I'd suggest dialogue outside of the Council is required to achieve the best vision for the long term direction of the district. The submission process is not the effective way of doing things, the plan is already written, and changing things at that moment is much more difficult
- 3) The section 'Welcome and the section 'Our District – now and into the future', is sadly once again such an ethnocentric position of the Buller, it's really about Westport, and Buller is not Westport and Westport is not Buller! So if you are talking about Westport, talk about Westport. The subtraction of industry the down sizing of Stockton, and the closing of Holcim, the non start-up of Bathurst has a more of a direct effect on Westport and the economy of the town, than it does on the wider district, albeit that there are wider impacts. BUT if you look at the parts of the district as I suggested last year in my JIGSAW presentation to the annual plan then you start to see the district differently, you start to see the diversity of the economy and where the strengths are, and the opportunities. And if you do that you find that there are areas of the economy that are flourishing and that a positive position can be taken about the district and NOT a negative one! While I have focussed on the key industries, there are other business areas to be emphasised and given transparency that are already part of the diversified economy, and can be a further and stronger part of district's economy!

While I have not had a chance to make the JIGSAW doc current to this year and the next, or complete the other parts of the district, much that reflects the Reefton / Inangahua area is still relevant (see attached JIGSAW). It would be easy to undertake the exercise across the district, then you build the excellent district profile, that helps significantly to give transparency to everyone in the district as to what is happening and for those outside the district. It becomes a tool for the Council to develop its annual and long-term plans, and it can slot across to the Region's Economic Development plan, that can keep it alive and relevant!

- 4) Tourism – I support the change to tourism investment from the general rate than a targeted rate, as the targeted rate was imperfect, and the benefits of the spend from tourism as across sectors.

A more coordinated approach to tourism, recognising that the district is part of the West Coast is supported as is the continuing support for Tourism West Coast, the provision of i-sites and local tourism promotion initiatives and museums!

I'd suggest that the Council needs to get a handle of the diversity of tourism in the district and start to quantify that and quantify the economic benefits, and then the industry will be seen in a much better light! It's not hard to get the economic data!

And in terms of the diversity of tourism, we in Reefton have been visionary and have created a character town of note, a town that stands out like the Oamaru Victorian area and we are the timber Victorian town, and other periods. The re-presentation of the historic character makes us stand out, gives community pride, attracts people, gives them a rich experience, and enhances our place economically. The Buller District Council needs to recognise what we have achieved, and give support to the maintenance of that character, our character is part of our future!!!! The contents of the revised district plan will be important! The recent debacle over our community centre and the negative perspective about wooden buildings and the statement that they have no heritage status has been very unhelpful, and

essentially says the Council has little understanding of what are the values of the town. The town obviously doesn't fit with the Council's modernisation thrust that it is promoting!

## 5) Council Property & Earthquake Strengthening

Modernising and rationalising buildings is worrying. Yes we want to have buildings well utilised, but in our communities we want to have places that have distinctive architecture that contributes to the sustainability of our places. Careful consideration needs to go into new builds so that the character of places is enhanced and not detracted, they are places that residents want to be part of, they are places that will attract visitors. Get it wrong and there are a whole range of impacts. Take Greymouth for example they have had a rush to modernise, but I'd suggest that they haven't created a wonderful town, and it hasn't created a thriving town, it is a place of corporate boxes, The Warehouse, a red box; Countdown, a Grey box, the Aquatic Centre, a grey and blue box; New World, a cream box; Mitre Ten, an orange and white box; Westfleet, a white box and the new hospital will be a glass box – is this the fate of Westport???

And then there is to be a further 6.7m of investment to be had on top of the substantial infrastructure spend in Westport, no suggestion of the need for community contribution to the re-development of Reefton! While I have supported the infrastructure development in Westport and the development of the cultural hub, there has been in my opinion an un-equal spend in Westport of other places in the district!

### Reefton Community Centre

There has been a very unsatisfactory process to determine its future, the catalyst earthquake strengthening! There has been a bias from the Community Board and the Council against the centre. The language to describe the centre has been emotive and in parts factually wrong!

The community process of engagement has been much more productive and engaging than that via the ICB and the Buller District Council. And there has been the inability of the Council to understand how the building fits into our town character! The building may not have heritage status but it has heritage value!

Unless the world changes through the submission process about the building, there has been a desire by many in the community to retain the facility and to enhance the facility; a performance theatre and a film theatre as well as having a better entrance, toilets, change rooms and storage facilities. I refer to the Alun Bollinger concept, the enhanced Option 2 concept.

The main issues of under utilisation of the facility is high hire charges, poor facilities and ineffective management. All of these can be addressed through implementation of the Alun Bollinger design and local management and marketing of the facility.

Funding must be allocated for earthquake strengthening, and upgrading work. And if the Council can invest significantly in Westport, then it can invest in the Reefton Community Centre and not require the community to dip into its own pockets!

# THE BULLER JIG SAW

The Buller jigsaw is about x4 pieces that make up the district.

Each part of the jigsaw is different in terms of geographic location, geology and landscape, biodiversity, culture and history. Those areas of the district have been identified through the strategic planning that took place to identify tourism and marketing opportunities but have relevance across other dimensions of the Buller District. The areas are:

Karamea Area – Seddon Ward

Punakaiki Area – Part Westport Ward

Westport Area – Westport Ward

Reefton / Inangahua Area – Inangahua Ward

Each is different in its key economic drivers, but there are also some similarities. Each is different in its communities and needs, but there are also some similarities. Each is different in its infrastructure requirements, but there are also some similarities. Each has some commonalities in terms of infrastructure needs, but there are also some differences. Each has a different natural environments and land use needs and possibilities, but again there are some similarities.

By looking annually at each of the parts of the jigsaw a better perspective is gained about the Buller District, a more holistic overview is given and the areas that the Council might assist with advocacy, delivery of services, regulatory input etc can be better identified.

- Economic performance, opportunities and issues
- Community functioning, opportunities and issues
- Infrastructure performance, opportunities and issues
- Environment / land sustainability, opportunities and issues

## REEFTON / INANGAHUA AREA – INANGAHUA WARD

### ECONOMIC PERFORMANCE

#### Mining

Mining trends as a strong contributor to the economy, despite the drop in commodity prices for both gold and coal.

*Hard rock gold mining* - With gold mining Oceana Gold is the lead corporate in open pit hard rock mining and is in its eighth year of operation at the Globe mine. As an outcome of the price of gold dropping to US \$1200 the company is looking to scale back slightly its operation, reduce staff numbers of its original 'care and maintenance'. This may have some implications for Reefton and the district / West Coast. The company is exploring the possibility of an underground mine at the Globe as well as further determining the possibility of an underground mine at Waiuta, having had very good results from the deep drill exploration intersects. A rise in the commodity price of gold will be the influencing driver for

all Oceana Gold's projects. Exploration has been scaled down. At some point in time the mine will close and there is a need to look towards the future of this DOC land such as conservation opportunities - natural and heritage, as well as the amenity, recreation and economic possibilities of the site need to be worked through with community input.

*Alluvial gold mining* – Numerous operations have sprung up and despite the fall in the gold price, this mining activity continues to be strong. Research work is being done to further identify other alluvial mining possibilities in the area.

*Coal mining* – both underground and open pit is a continuing contributor to the local economy, and despite the fall in the price of coal, mines in the area have continued to perform well, have maintained levels of employment and have seized new opportunities. The former Terrace underground mine, the Crusader Mine is now producing coal after being sold by Solid Energy to Queensland owners. NZ Coal & Carbon continues to function well at the Echo Mine following some rationalisation of its mining operation. Solid Energy's Redale Mine has made the transition to a completely run Solid Energy mine and is looking to expand its operation. Birchfield Coal has expanded its Giles Creek mine operation through gaining a supply contract to supply coal to Fonterra's new Darfield milk processing plant. This has led to the development of a new rail load-out facility and increased KiwiRail rail traffic out of Reefton.

*Platinum exploration* – exploration for this resource is still on the radar.

*Oil and Gas exploration* – The Minister of Energy has announced that the top of the south island area is now available for oil and gas exploration which includes Victoria Conservation Park that surrounds Reefton. The announcement is recent, April 2014 and it is not known as to whether this will lead to activity in the area.

### ***Issues / Opportunities***

Opportunities will open as the commodity price for gold and coal rise. Coal is likely to be a strength as efficient medium sized mining company operations seek out further niche markets

Opportunities are likely to develop with gold mining as further research effort is placed into determine the locations of both hard rock and alluvial mining areas. This is both Government and private sector led

Maintenance of the highway and rural road infrastructure is important to this industry as is the Midland Line.

Post the Globe Mine operation conservation and recreation opportunities need to be determined

## **Farming**

Dairy farming tends to be the main driver of the area's farming economy. **The Reefton / Inangahua / Grey Valley areas are the strength of this farming in the Buller.** There are further farm conversions happening into dairying and new milking sheds are being erected as investment in the industry continues. Pivot Irrigators are appearing on the farmscape as farmers move to ensure that the climatic variations, the dry spells are smoothed out, although this season has been wet and that has had its own implications. The dairy payout is expected to be at the high end for this season, although there has been a drop in the commodity price. It is likely that investment will continue to flow into the industry next year as a result of the good season and the payout. The investment by Westland Milk Products in the expansion of its production capacity in Hokitika gives strength to the area, across the district and the region.

Farmers are concerned about cost increases, which include rate increases.

### ***Opportunities / Issues***

Ongoing investment in the dairy industry will enable growth and the continuing investment and market initiatives and new product directions by Westland Milk Products will ensure long term sustainability of the industry.

The farming sector would argue that general rate increases need to be constrained and that user pays through targeted rates needs to have more attention.

Maintenance of the highway and rural road infrastructure is important to this industry as is the Midland Line and its links. [Also refer to the section Infrastructure performance re milk train opportunity].

## **Forestry**

New Zealand Sustainable Products leads in terms of timber production in the area, with its focus on native timber product from sustainable yield forests in the area, district, west coast and wider than the west coast. Some of its harvest comes from the Globe mine, as Oceana Gold develops its mine site.

The company has been innovative with its production processes and the vacuum kiln drying of its product.

International and domestic markets are both a target and currently the company is focussing on delivering product in the Christchurch re-build market.

Exotic timber in some volume supplies into the West Coast, Nelson and Christchurch markets.

### ***Opportunities / issues***

For the native timber product production, looking towards the opportunities that the Christchurch re-build provides and particularly that associated with modular housing



## **Tourism**

The 2013/14 season has been a particularly strong season and those directly and indirectly involved in the tourism industry have benefited. Reefton has flourished and many visitors are attracted to the town because of its distinctive character and they express this regularly.

**Reefton continues to be the decision point for travellers, travelling from the east along state highway 7.** In Reefton visitors either decide to either travel down the Buller Gorge, maybe stepping into Westport, and then to travel down the Coast road, recognised as one of the one Great Road Journeys in the world as identified by Lonely Planet, then south to the Glaciers or alternatively deciding to travel down through the Grey Valley to Greymouth, Hokitika and beyond to the Glaciers. On the exit from the West Coast to the east along state highway 7, Reefton is the place where visitors gather before travelling onwards.

Visitors are attracted to the town because of its distinctive character and more often or not the character of the town causes them to stop and explore and stay.

Victoria Conservation Park continues to be a drawcard for recreation participation and the now completed Goldfields Journey, to be formally opened by the Minister of Conservation in October 2014, is attracting growing mountain bike participation. This trail complements the Lyell Track in the district which is being developed and partly opened.

The Globe Mine site, post mining, can provide the possibility of future visitor activity, as an amenity area, as well as an area in which the Goldfields Journey can be routed through and other mountain bike trails developed. If the mainland habitat island management by DOC of the mine site continues this area can provide an opportunity for eco-tourism. Some of the mining infrastructure could be left for heritage visitor experiences.

Reefton's skate park, one of the technically best in the country, continues to attract interest from a variety of age ranges and the presence of the nearby campground provides the unique opportunity for users to stay and skate in the one location. The return of the night lighting gives further visitor use possibilities in the 'town of light'.

Visitor interest in attractions such as the visitor centre and the Blacks Point Museum continues.

Development of the powerhouse project as a visitor and heritage attraction is in the wings, some funding is available from the Buller District Council, and a more substantial funding allocation is awaited from the Lotteries Significant Project Fund.

The walking link between Reefton and the Blacks Point Museum, hub of the Murray Creek Track System, and a link in the Goldfields Journey is underway as part of the New Zealand Walking Access Funding. More funding is required to complete this link.

There has been a stronger flow of international visitors and the Chinese market is a developing one and the presence of Chinese in small groups are present, and coach groups

are appearing. The challenge is how to effectively engage with this developing market segment.

### ***Opportunities / Issues***

Maintaining and the improving Reefton's distinctive character so that the town is presented to its best standard as one of the key entrance / exit points to the Buller District and the West Coast, raising the bar of expectation to visitors. Further partnership initiatives with the business sector, community, Development West Coast and the Buller District Council should be explored. Collaboration with other West Coast councils should be explored to achieve Reefton, Otira / Kumara as the heritage entrances / exits to the West Coast along SH 7 and SH 73. Draft building guidelines for Reefton's main street [as identified in the district plan] have been developed by Reefton Inc (formerly ITP Reefton Promotions) and are available to progress through a consultation phase.

District collaboration to promote / market the 2 adventure mountain bike trails in the district, the Goldfields Journey and the Lyell Track.

Working with Oceana Gold and the Department of Conservation to determine conservation, community amenity, and visitor opportunities of the Globe Mine site post mining.

Investing in maintenance of Reefton's Roller Park by the BDC in partnership with the community is critical in maintaining this district facility to a high standard. The park management plan needs to be implemented to ensure that management is effective. Across region collaboration in marketing the roller park opportunities on the West Coast and events should be explored.

Continued BDC funding for the *i* site and the Blacks Point Museum is important for their sustainability.

Funding opportunities need to be explored to enable the powerhouse project and the Reefton to Blacks Point walking access track to be completed – a link into the Goldfields Journey.

How to best engage with the growing Chinese Market requires district and regional collaboration.

Maintenance of the highway and rural road infrastructure is important to this industry as is the Midland Line and the potential for more passenger traffic on the Stillwater to Westport / Ngakawau section.

## INFRASTRUCTURE PERFORMANCE

Road and rail transport links are vital for the areas and the districts economy.

*Highways* -The Lewis Pass Highway [SH7] is a key link between the West and the East and vice versa. It is the most reliable access to the West Coast to Christchurch and beyond compared to Arthurs Pass [SH73] particularly during the winter months. Maintenance funding of the Lewis Pass by NZTA continues to be diminished.

*Roads* – The network and rural roads in the area are vital for rural community functioning and are critical conduit for economic activity. These have continued to be well maintained by the District Council.

*Rail* – The Midland Line is an important transport link for the area, but KiwiRail is under tight financial constraints and line maintenance is affected.

Freight traffic out of Reefton both gold concentrate and coal are strong and coal traffic is a growing activity with the Fonterra coal traffic. Gold concentrate is likely to drop out if Oceana Gold places their Globe Mine into a 'care and maintenance' regime.

Milk trains out of Reefton is something that could be explored given the volume of milk that comes from the Reefton, Inangahua, Murchison, Maruia and Grey Valley areas heading for Hokitika.

Either Reefton or Inangahua could be the rail freight terminus for Nelson freight as a competitive alternative to singularly road transport via SH6 and SH7 to Christchurch.

Passenger traffic on the Stillwater to Ngakawau line has come back slowly since the line for passenger traffic has been opened in 2010. Further activity in this area could be encouraged.

### *Issues / Opportunities*

- There has been underfunding of SH7 maintenance and there is no recognition from NZTA that SH7 is the critical back-up link to the West Coast. This requires addressing
- Maintaining rural roads to a high standard is ongoingly important.
- Maintenance of the Midland Line is a key part of the transport infrastructure in the area, district and region, and this needs to be recognised in the land transport strategy for the West Coast. Bottle neck alleviation solutions need to be derived for the Otira Tunnel, maybe a return to electrification.
- Other rail freight and passenger possibilities should be explored. Milk trains ex Reefton (as a collection hub) could also be explored.

## **ENVIRONMENT / LAND SUSTAINABILITY**

1080 continues to be applied in large volumes around the farm forest fringe and on conservation land. This activity is effective but highly contentious.

The 'mainland habitat management' of the Globe Mine area has been re-instated. This conservation activity was some years ago transferred to the Maruia Valley for short tailed bat management.

A small group of conservation orientated people continue to search for the 'extinct' south island Kokako. Technology is being used to confirm or otherwise dismiss the presence of the bird.

DOC have initiated a 'clean -up' project at Waiuta, an historic mining area, to reduce / mitigate the levels of contamination of heavy metals at the former Prohibition Ball Mill and processing plant site.

For dairy farming Westland Milk Products have the following strategic Goals and Best Practice. Key strategic goals have been set up by Westland and the West Coast Regional Council to be achieved by 2015 and include the following:

- The dairy industry remains economically successful
- The impact of dairying on the environment is minimised
- Water quality in dairy catchment areas is maintained or enhanced

### ***Issues / Opportunities***

The desire by authorities to increase the use of 1080

The potential to maintain the Globe mine mainland habitat island for the long terms needs to be explored and what community partnerships can be developed

Determining whether the south island kokako exists, if it does this would be of considerable conservation interest and would put the area on the map

Achieving the decontamination of the former Prohibition Ball Mill and processing plant site

Implementation of the strategic gaols established by the West Coast Regional Council for the dairy industry

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Mary Wilson

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**From:** Garry Howard  
**Sent:** Monday, 8 June 2015 2:21 p.m.  
**To:** Mary Wilson  
**Subject:** FW: BDC long term plan  
**Attachments:** Reefton Sports.pdf

Please accept this submission.

Kind regards  
Garry

Garry Howard | Mayor  
DDI: 03 788 9684 | Mobile: 027 447 4371 | Email: [garry@bdc.govt.nz](mailto:garry@bdc.govt.nz)

Buller District Council | Freephone: 0800 807 239 | [www.bullerdc.govt.nz](http://www.bullerdc.govt.nz) | [www.buller.co.nz](http://www.buller.co.nz)  
PO Box 21 | Westport 7866

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**From:** Gordon Storer [<mailto:Gordon.Storer@norwood.co.nz>]  
**Sent:** Monday, 8 June 2015 1:25 p.m.  
**To:** Garry Howard  
**Subject:** BDC long term plan

Hi garry

I believe I may have missed the dead line for a submission as unfortunately I've been rather busy.

Below are the 2 emails and attached copy of the plans.

If you could forward on to the long term planning committee to see if they will accept a late sup that would be great.

So far no one seems against the plan.

I have started to make phone calls again re funds and support, this said they all ask the same question, what is council doing 1<sup>st</sup>.

I would ask that the LTP committee and BDC take our wishes in to consideration for funds and or help.

Yours gordon

1<sup>st</sup> email

To whom it may concern.

This is a request that council look into the following for the long-term plan concerning reefton sports.

Brief.

The racetrack area is governed by the reefton sports park committee and to the best of my knowledge, its land been gifted to the reefton community.

The complex is 1/3 shared owned by, the rugby club, trotting club and the galloping club.

The complex was built in the 70s with love by all.

It consists of,

Down stairs, offices for racing days, 2 changing rooms for rugby, squash courts, 2 toilets,

Upstairs, bar, dining area 70 people max, with kitchen.

However, it has become out dated for its size and aging members.

The following problems have been identified over the years.

Changing rooms, one is up to nation standards one is too small. so we cannot have NPC or the like, games here. (The field was redone last year and is now top notch, we are in a perfect position for both buller and westcoast unions to hold games here)

Only two toilets

Bar area is no longer big enough for the rugby club, on junior prize giving nights its standing room only with 250 people plus.

No club can hold a proper function there due to catering. =loss of income i.e. rodeo function, rugby break up etc.

No toilets upstairs.

Aged members struggle to get up stairs and no wheel chair access or lift. Racing president currently has his thing in a tent down stairs for this very reason.

Kitchen out dated and can only serve basic foods.

With this in mind and the fact that soon we will have to be earthquake tested soon, 2 years ago I started a feasibility study off my own back to see what was needed.

This identified the following.

1. All other sports clubs do not have a place to call home, these clubs are, soccer 50 members, cricket 20 interested parties, netball 150members, basketball 65 members, boxing interested parties.

2. That the current complex was in need of change in to take it into the future, as its current state could create issues as far as being complainant to building standards, i.e. for the aged, wheel chair access, size etc.

All clubs were contacted in order to ask for their interest and all replied that a mult sports club or complex would be great.

I also did some research into what Murchison has achieved; this led me in contact with Tasman sports and the man who led both Murchison and the rewaka club to what they are today. Great clubs providing for all and making a small profit to ensure there future.

He came down for a meeting with me, Jan Moore, and murry reene, murry is head of the sports park committee. This insight he gave us was fantastic, in that we now have an understanding of how such a complex, run well can benefit all as well as each club still being able to retain its independence.

So that really presented 3 options, to ensure upgrade to acceptable standards for all requirements.

1. Revamp current complex and add on.

2. Total replacement with either

A.as a club house only for all sports and race day offices.

B. With an indoor court, gym, as well all other requirements for all clubs.

With this in mind, I also started to approach organizations that might be interested in donation funds to such a project.

I was able to get a verbal of 1.2million. bear in mind this was 2 years ago.

Stage I am up to.

I have slowed, as I am trying to do this on a zero budget.

Racing clubs perspective is that they are interested in doing something but I have to show plans, funding, costings etc.

With this in mind, I have a friend who runs the poly in chch and they are going to come up with some designs for all to look at with the winner being able to put his name to the building if it got that far.

What I need to speed things up.

Funds to get an architect to do proper designs would be great.

Council support in a public forum to access what type of building is needed.

We do not want to earthquake test yet as if we fail, we might be shut down then we have nothing until something else is built. (And I would be publicly shot)

This is just a brief over view of what I have done so far, I do have more info if required.

Below is supporting names of pers that are happy to help make this happen, these are just a few I have contacted in the last few days.

Malcom and Jan Moore, scotty rosso and partner,rossco,arron and Justine Mitchel, warner and Kelsey, hemi manawtu,luke Williams, Kevin Moore, haggis Gregory,thor manawtu,luke patu,arron silcock,barry townrow,white star club,netball club as well as all other clubs mentioned above.

2<sup>nd</sup> email

As you can see, support for this is not slow in coming forward and I am sure I could have more given time. I look forward to your response and feel free to contact me on the number below.

Hi Jenette.

Sorry for missing the time line you asked for but life has been a bit busy.

Stage im up to.

Design plans have been made and a copy is being dropped to council, Richard Knudsen today, I will be picking up copy's tomorrow and can drop one off to you over the weekend if that suits.

I will also be showing the racing boys over the weekend as well.

This has been a cost of 800 of which Jan Moore(MS moore contracting) has offered to help pay for as she believes in what we are trying to achieve.(this now confirmed to the value of \$800)

These plans are just concept drawings not final plans but will also have an approx. cost on each option.

The designer's have offered to come thru on tues to present their plans to you and explain in detail if you wish, just let me know.

Below are some facts as I see it, of what came out of my feasibility study so to speak. this approx. of what people spend, its up to us to get it thru the complex than other outfits.

There is also the side benefits of people spending in town, accommodation, food etc.

I also see the building being used for civil defence as well as emergency accommodation for when the passes are closed.

I also believe that it would create employment form temp or full time, cleaner, bar manager ,complex manager.

This doesn't include employment while the actual build is happening.

Unfortunately my records of what I did have been lost, bugged if I can find them.

	People visits Year	\$ spent average	total turn over k000
Amp show	750	x\$60	45
Rodeo	1000	x \$60	60
Golden oldies	500	x\$60	30
Rugby			
Seniors	800	x\$60	48
Juniors	2000	x\$20	40
Races x 3	2300	x \$60	138
Squash	100		
Totals (a)	7700		361

Other possibility's should we have a sports complex with facilities

Rodeo break up do	350	x \$60	21
Soccer break up do	500	x \$60	30
Netball games			
Seniors	300	x \$40	12
Juniors	1440	x \$10	14
Basketball	250	x\$20	5
Boxing	280		
Pony club dinner?	300		
Totals (b)	3420		82
Total (a+b)	11120		443

(+c)

14990

Other events lost thru out the year that we have had to say no to due to lack of facilities.

Weddings x5 x250 people = 1250

Car/bike rally's x 5 x250 people = 1250

21st x 5 x 250 people =1250

Conferences x3 x 40 people = 120

Total (c) another 3870 people thru the complex

18 events x \$300 per event \$5400 not counting any bar takings

Above is just an estimate of could or already is spent.

As I see it whatever club is hosting the event would take 75% of the take with the complex getting 25% / pay a set fee or something like this.

Rewaka club do this very well and advise would be sought from them.

Other Clubs that pledged support.

Soccer happy to use on the basis that a field is set up(very easy to do)

Netball, happy to use the facilities and club rooms ,also would be looking at having teams travel from Westport to play here as currently all of reefton teams travel to Westport.

Basketball would like to stay in the current place(community hall) but would like to see it expanded to a full size court, so that says to me, they would use the new complex.

Boxing has no home/place at the moment.

Gordon Storer

Sales Representative

Norwood Farm Machinery Centre

Ph 03 788 9050 , Cell 021891253

Fax 03 789 6760

PO Box 94, Henley Street, Westport 7866, New Zealand

[storerg@norwood.co.nz](mailto:storerg@norwood.co.nz)

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**Attention:**

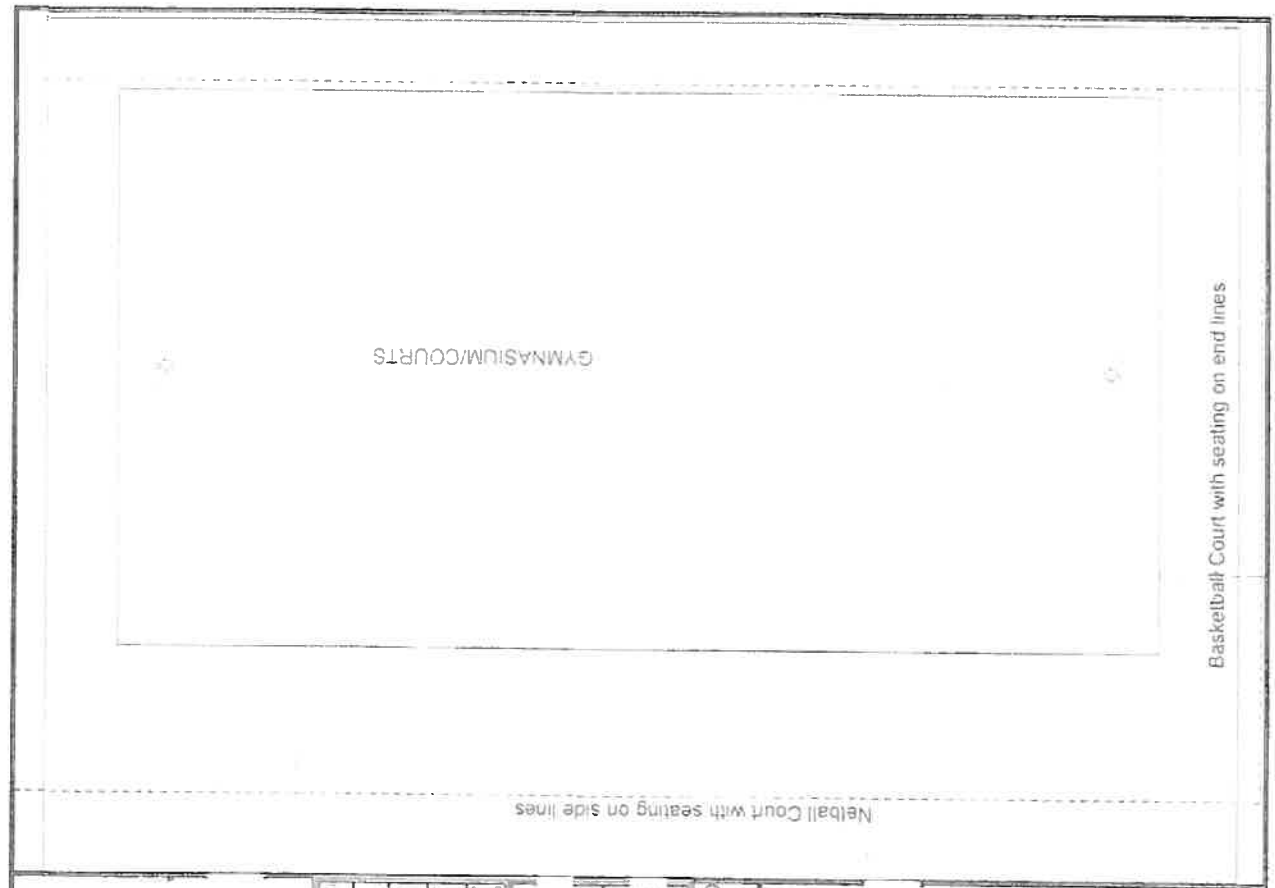
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FLOOR PLAN - PROPOSED OPTION 1 - Lower Floor  
Scale 1:200



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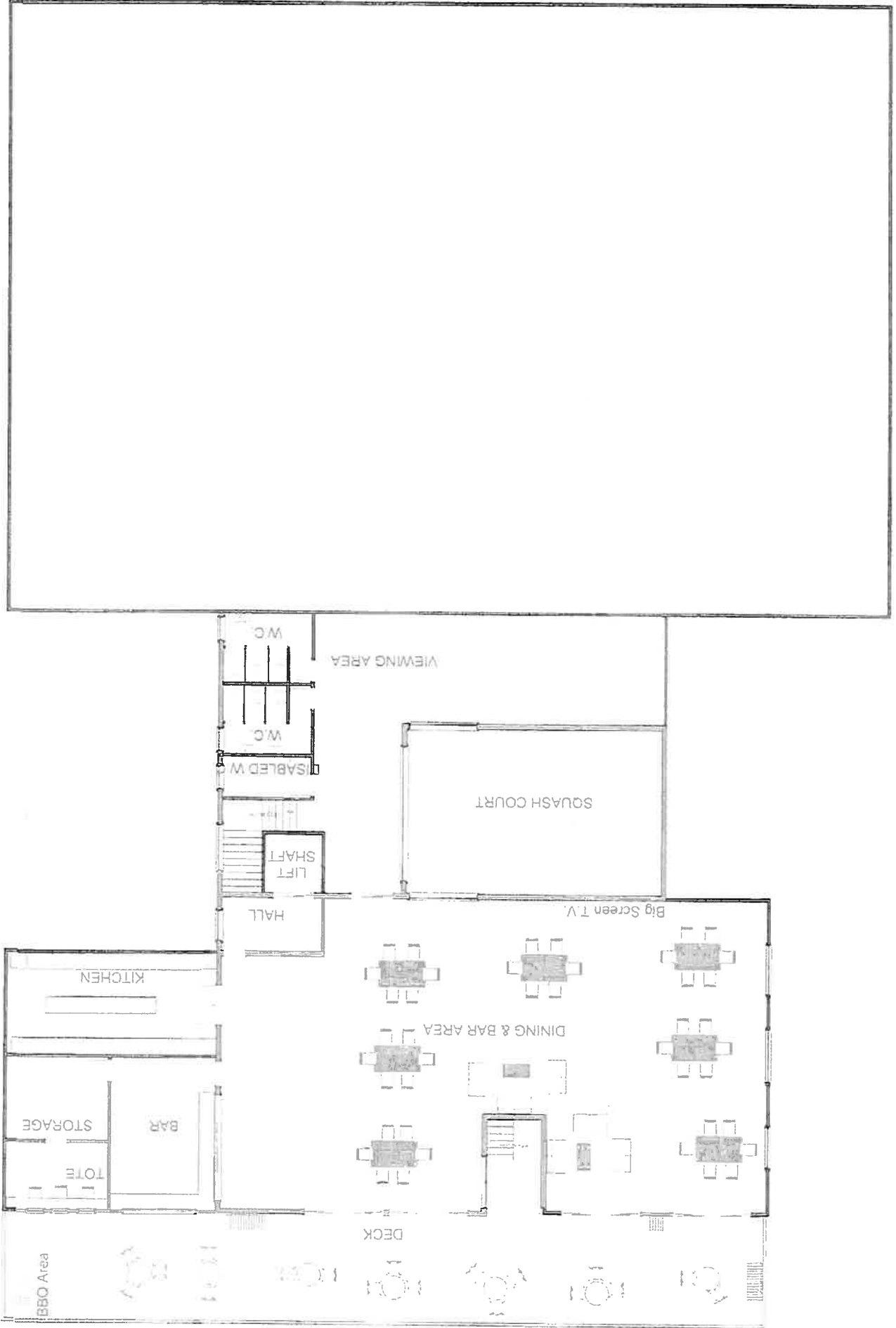
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**FLOOR PLAN - PROPOSED OPTION 1 - Upper Floor**  
**Scale 1:200**



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 Specky's Workshop Ltd

DRAWN BY  
 Specky's Workshop Ltd  
 Jeff Sargeant & Suzanne Brereton  
 LBP Check 120338 Jeff Sargeant

ENGINEER

DRAWING TITLE

DWG No SCALE

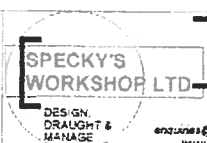
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 Reelion Sports Complex

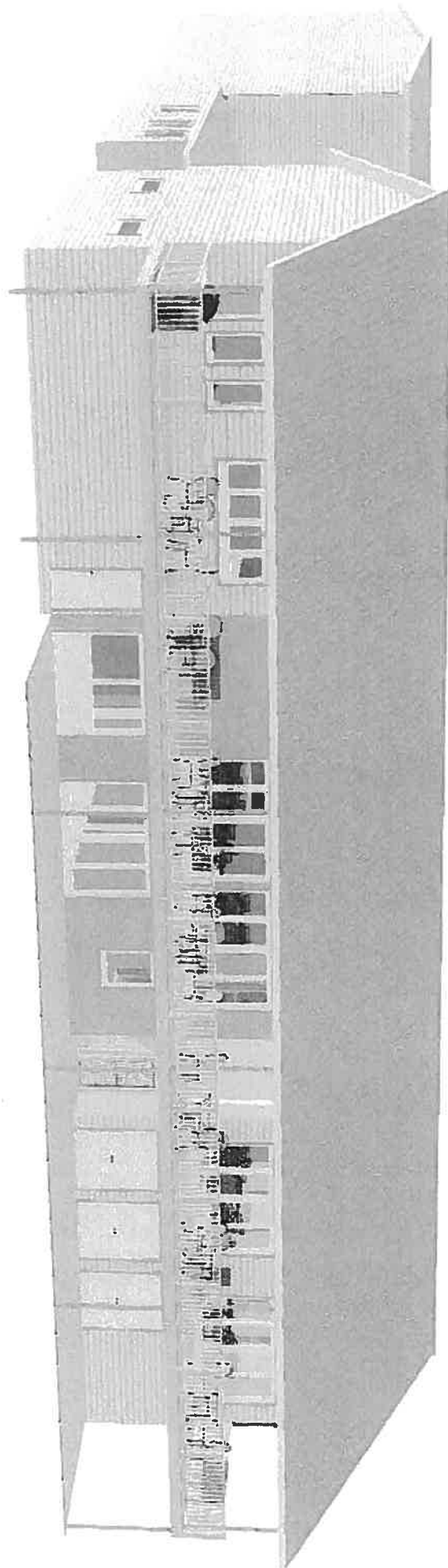
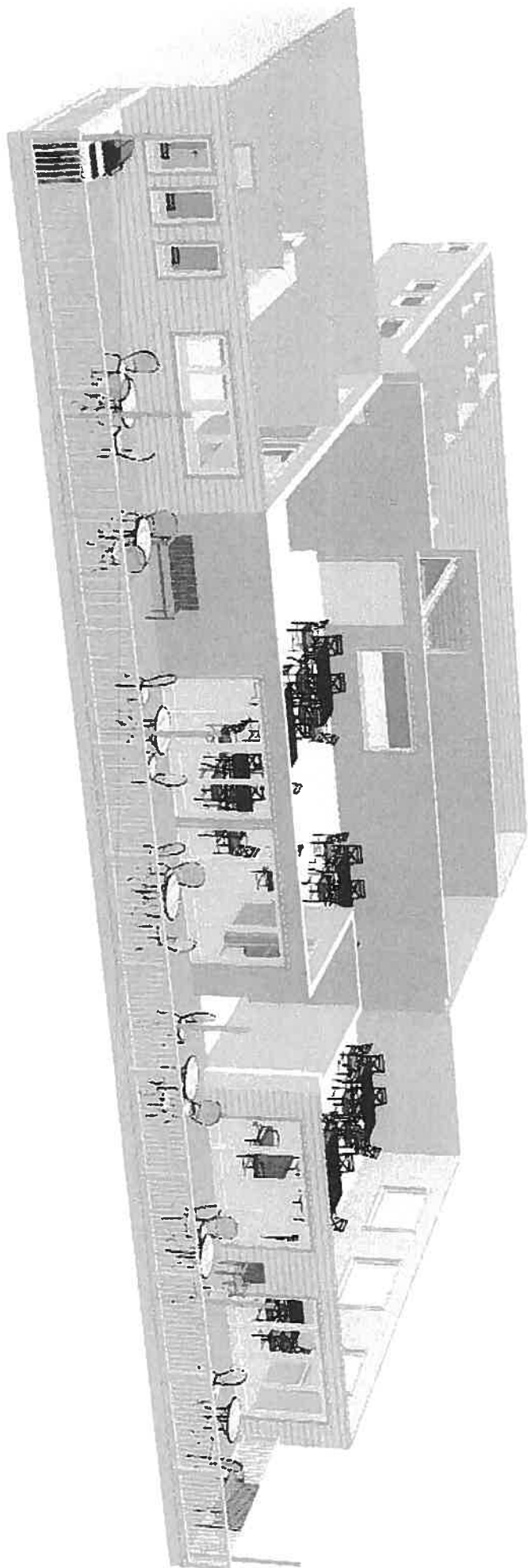
LOCATION  
 Reelion



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LBP Check: 120338 Jeff Sarjeant

ENGINEER

DRAWING TITLE

DWG No: SCALE:  
DATE: ISSUE: Rev: Consent

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Reaction Sports  
Complex

LOCATION  
Reaction

**SPECKY'S  
WORKSHOP LTD**

DESIGN,  
DRAUGHT &  
MAYAGE

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SUZANNE BRERETON

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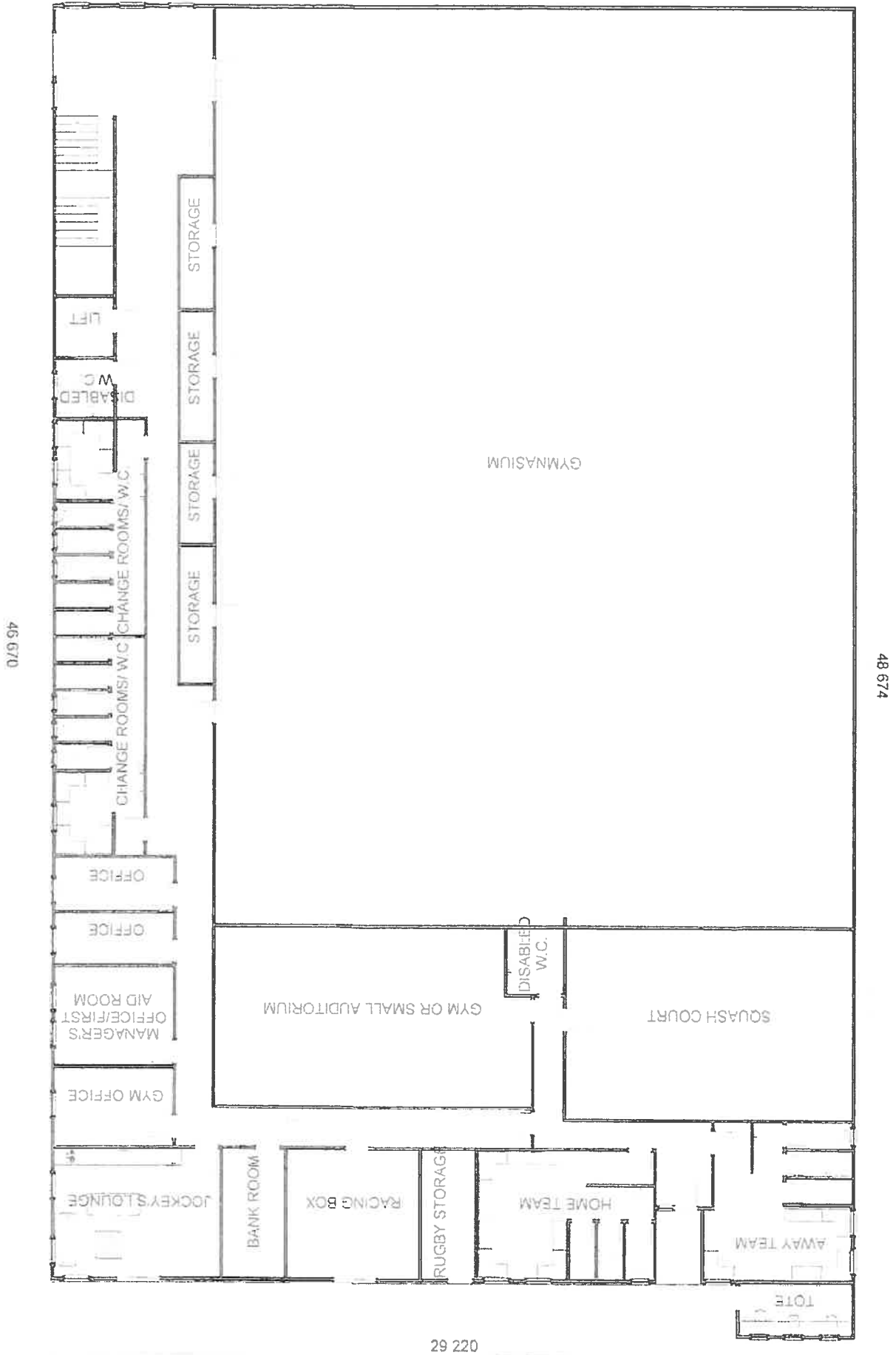
enquiries@speckysworkshop.co.nz  
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NOTES

The contractor is to verify all dimensions, angles, site measurements and conditions, etc prior to construction. The contractor is to locate and confirm position of all services on site. Any errors or omissions are to be reported to the designer immediately.

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**FLOOR PLAN - PROPOSED OPTION 2 - Lower Floor**  
 Scale 1:200



DESIGNED BY  
 Specky's Workshop Ltd

DRAWN BY  
 Specky's Workshop Ltd  
 Jeff Barjeant & Suzanne Brereton  
 LBP Check: 120338 Jeff Barjeant

ENGINEER

DRAWING TITLE

DWG No: SCALE

DATE: 14 Jul 2014

ISSUE: Consent

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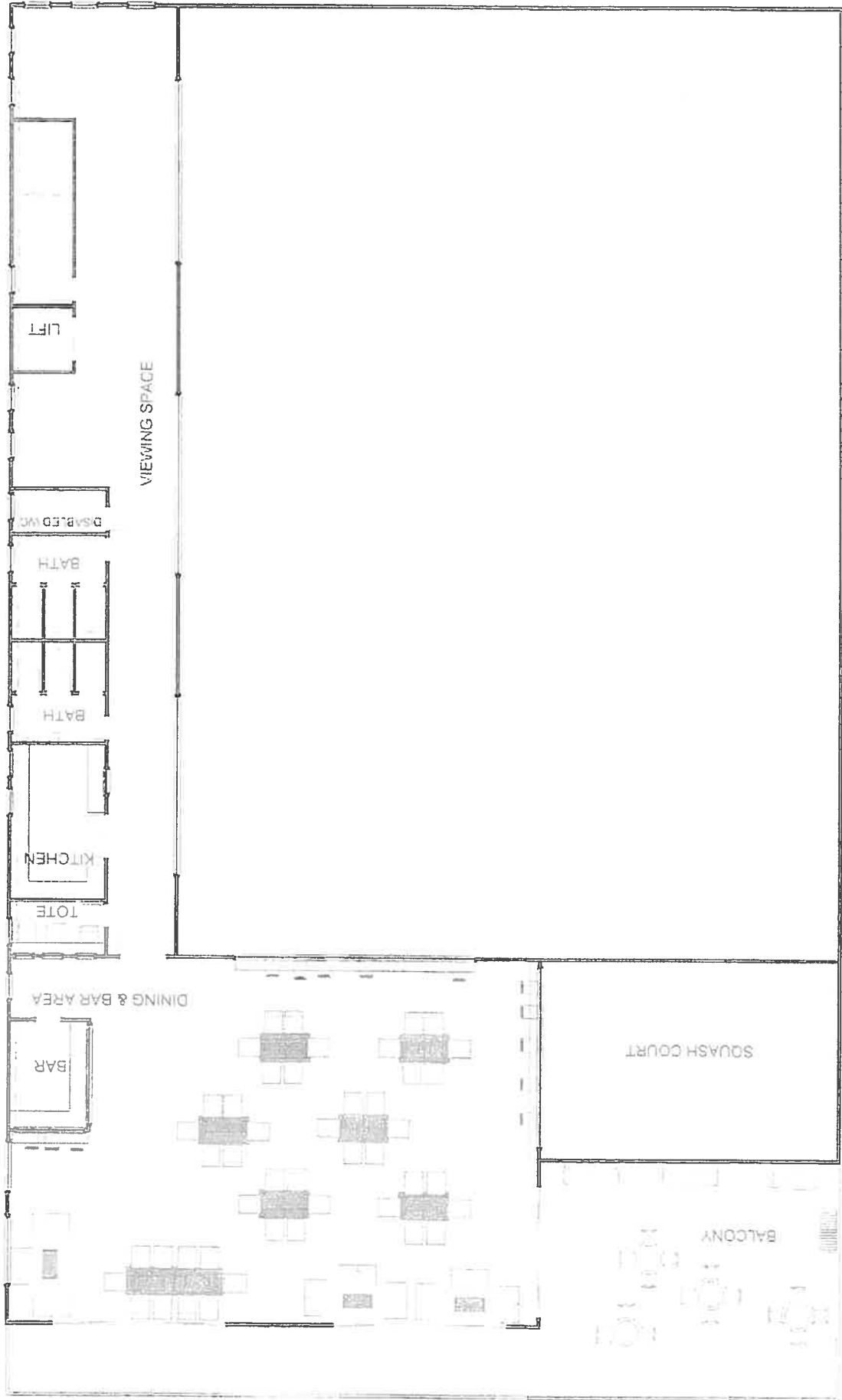
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**FLOOR PLAN - PROPOSED OPTION 2 - Upper Floor**  
**Scale 1:200**



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DRAWN BY  
 Specky's Workshop Ltd  
 Jeff Sargeant & Suzanne Brereton  
 LBP Check: 120338 Jeff Sargeant

ENGINEER

DRAWING TITLE

DWG No SCALE  
 DATE ISSUE  
 Jul 2014 Consent Rev

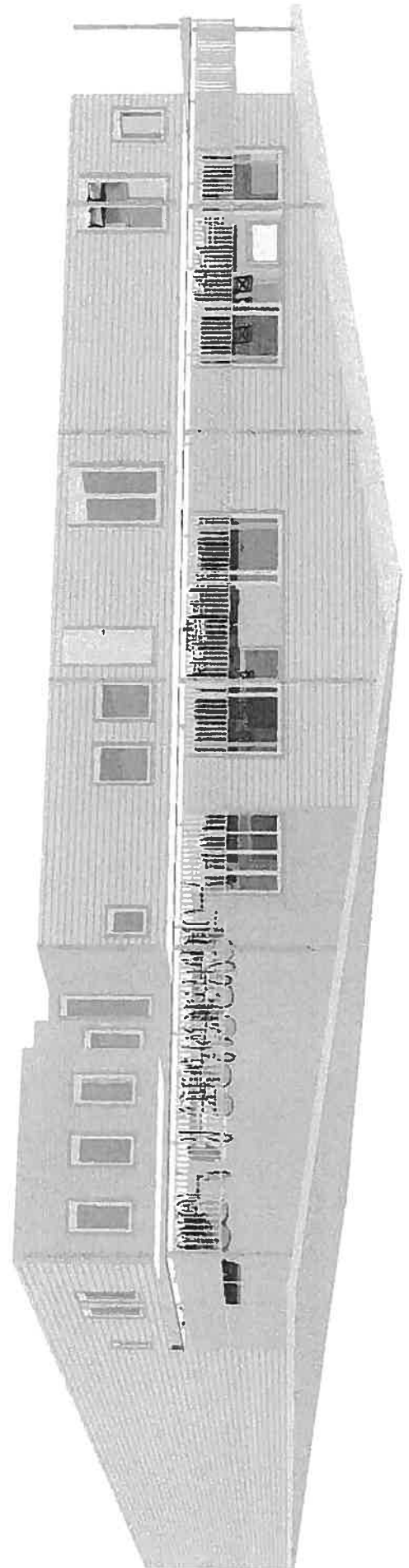
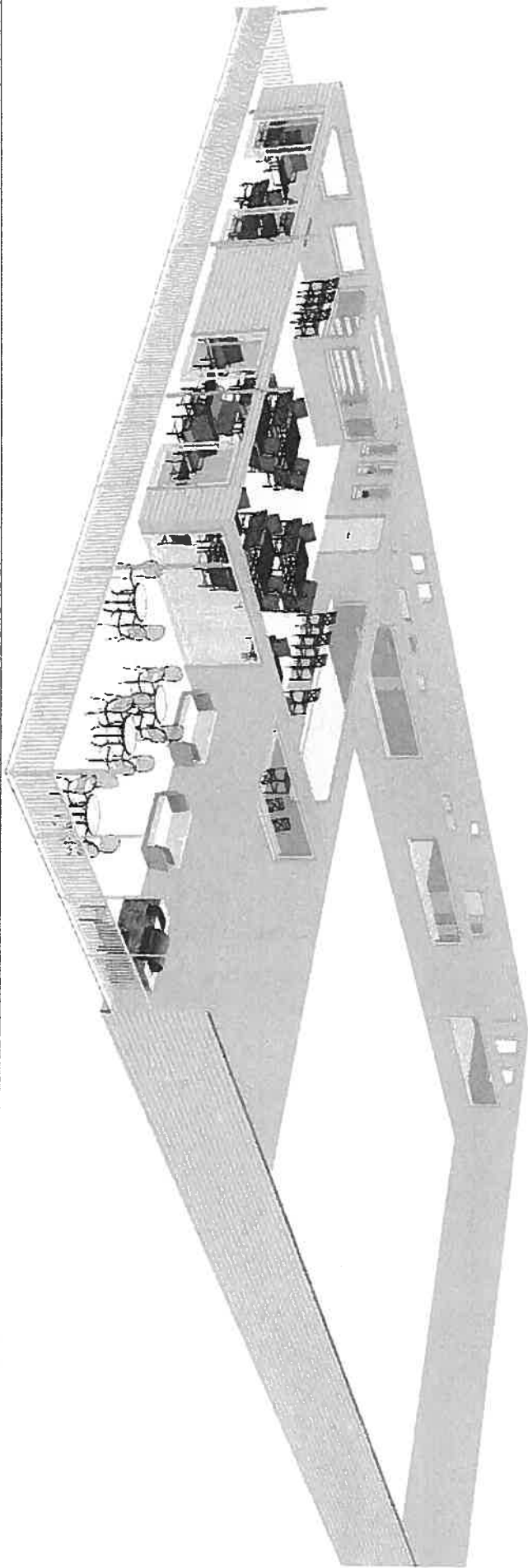
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DRAWN BY:  
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LBP Check: 120338 Jeff Sargeant

ENGINEER:

DRAWING TITLE

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